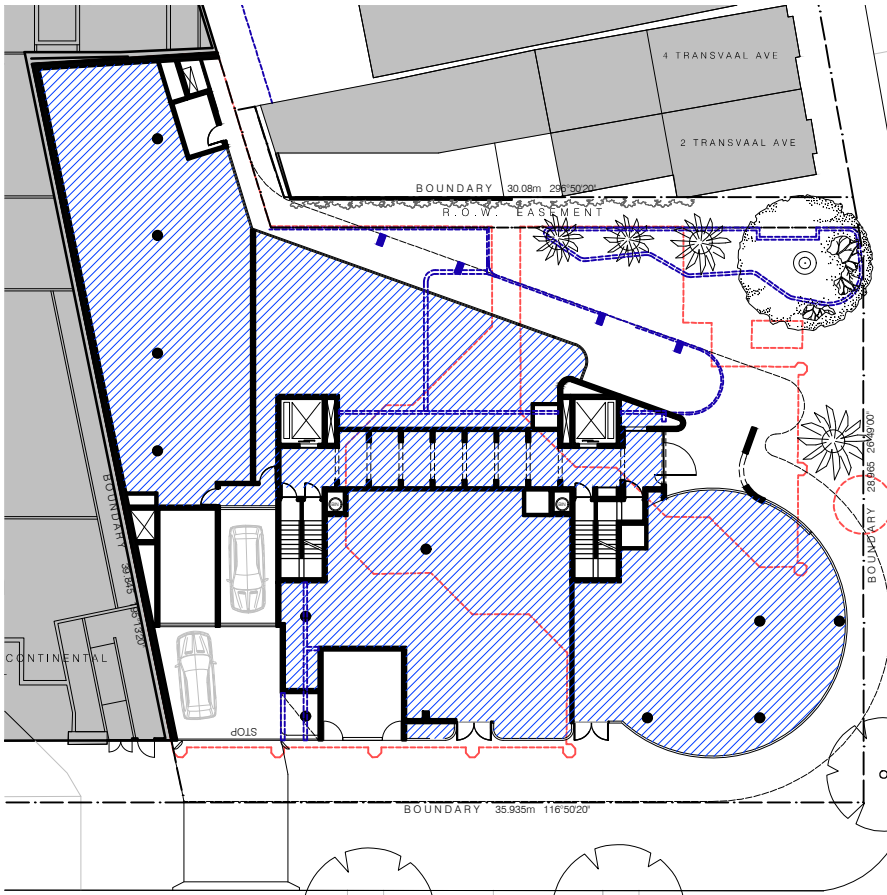
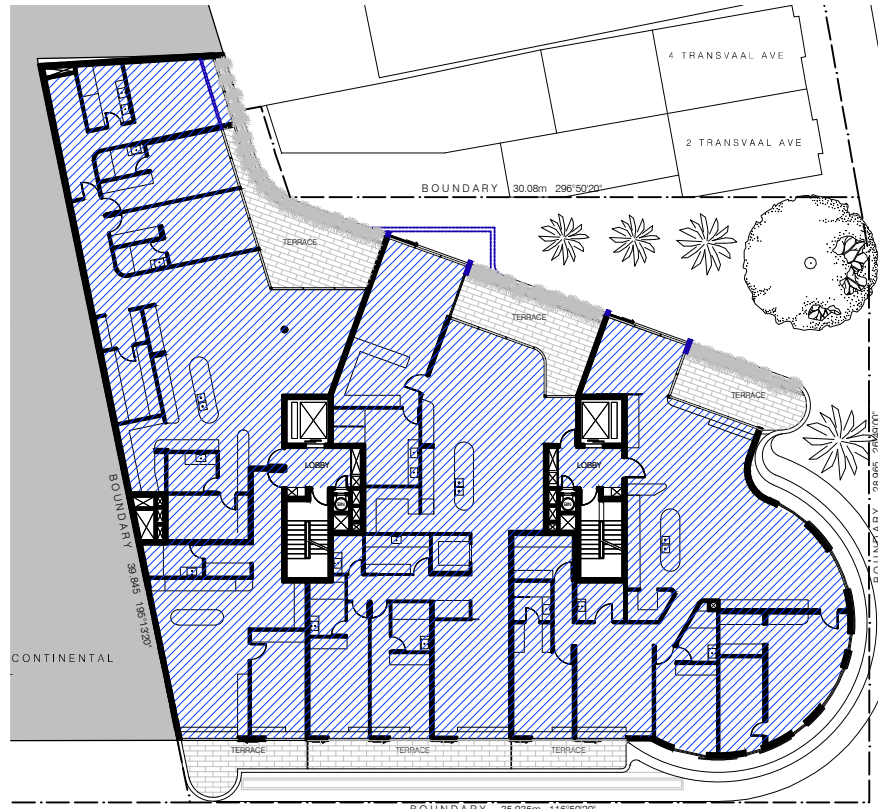
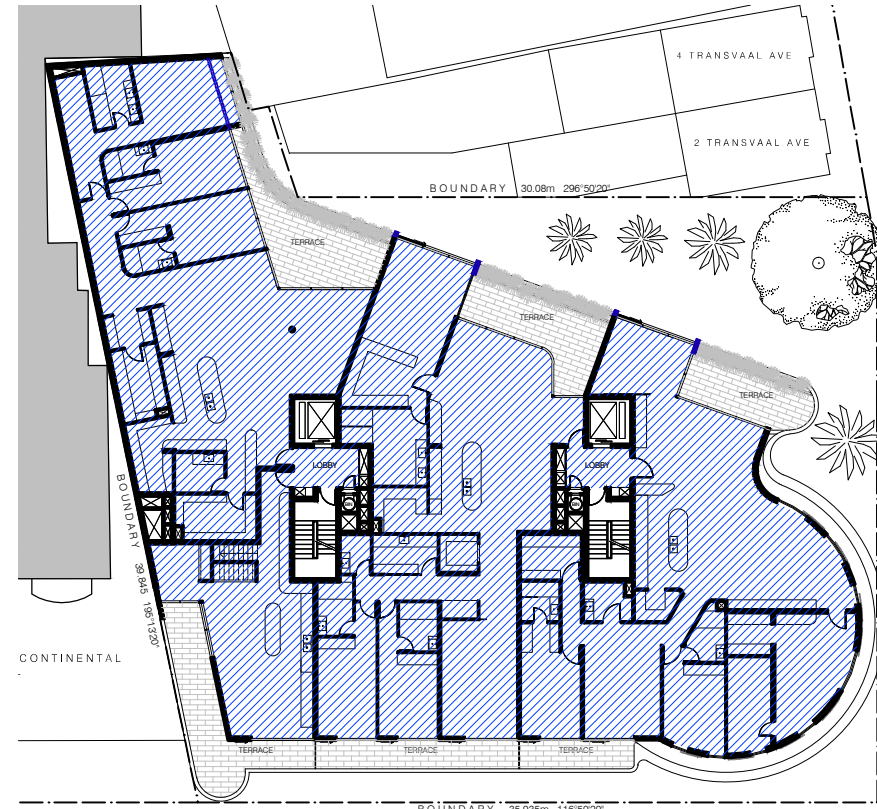




01 APPROVED DA - GROUND FLOOR PLAN

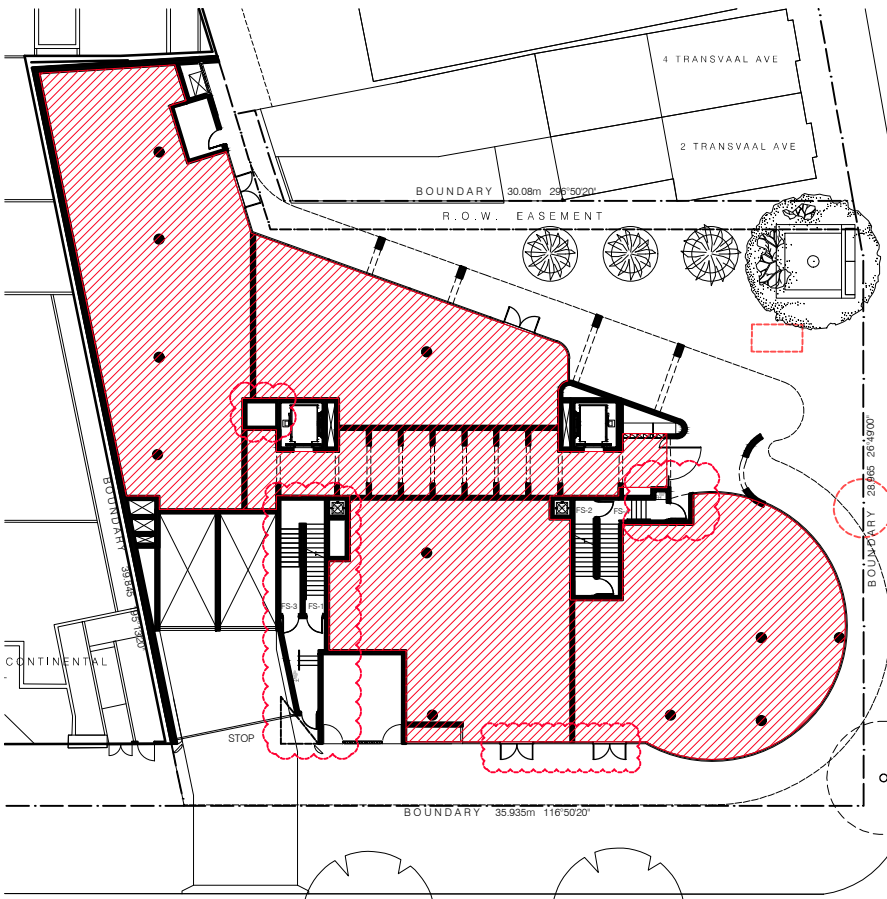


02 APPROVED DA - LEVEL 1-2 PLAN

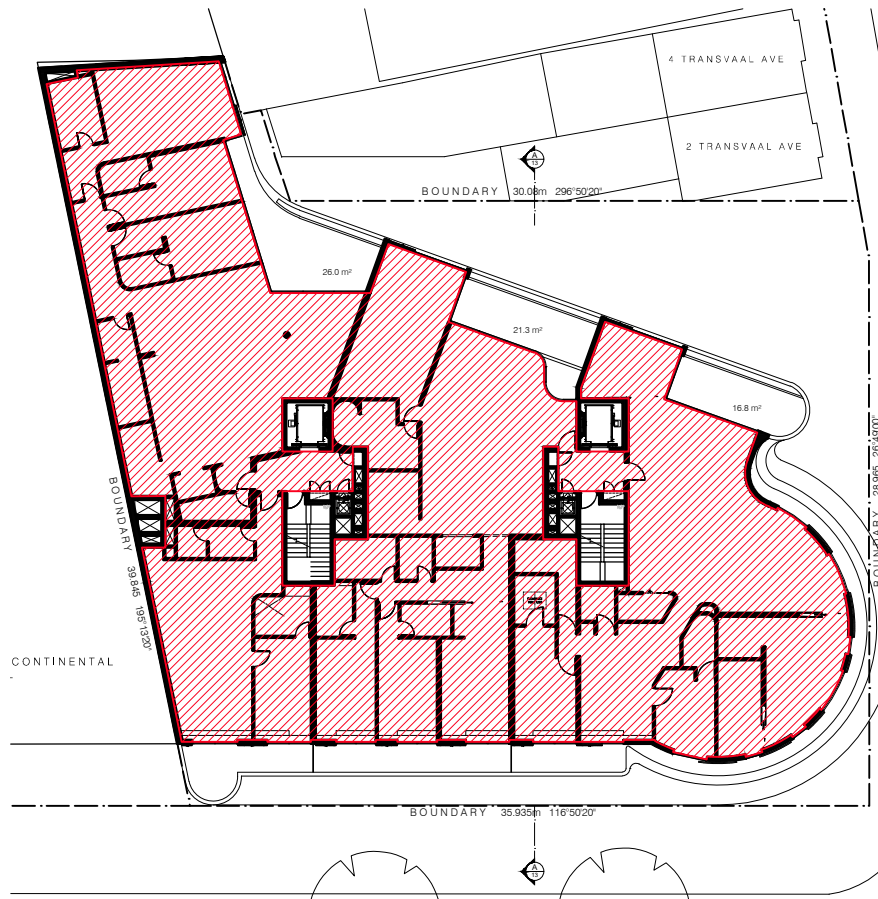


03 APPROVED DA - LEVEL 3 PLAN

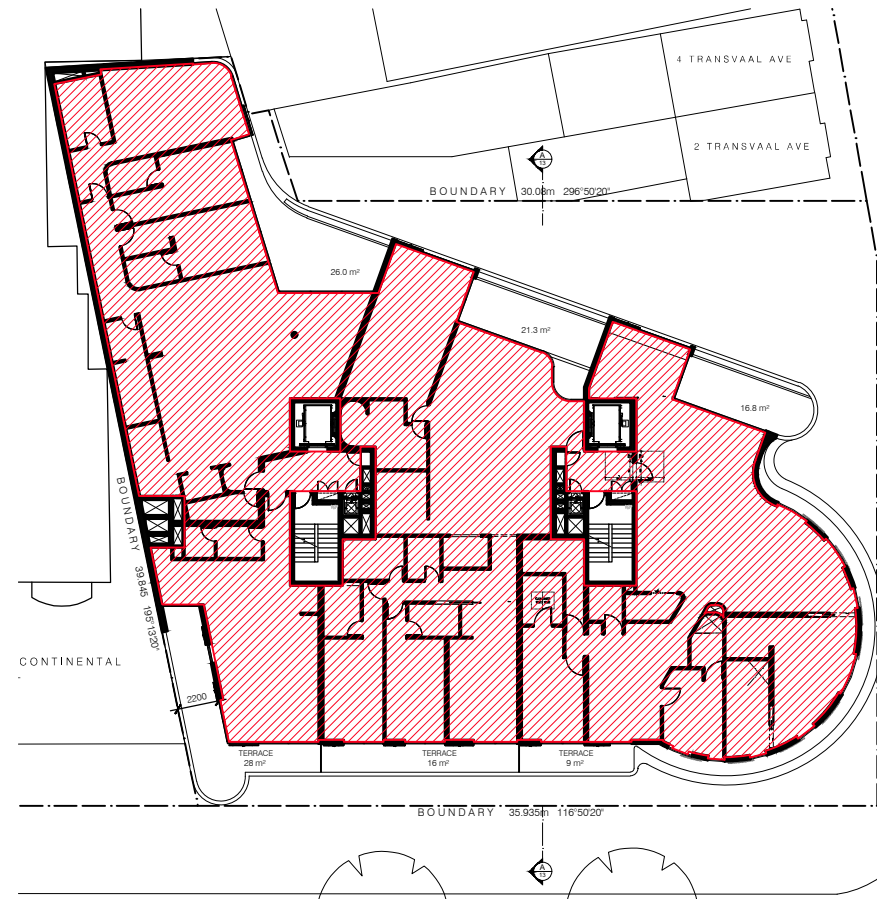
gfa calculations		
site area	1334 m ²	
	Approved DA	Proposed S4.55
ground floor	679 m ²	664 m ²
level 1	824.5 m ²	824.5 m ²
level 2	823.5 m ²	823.5 m ²
level 3	807 m ²	807 m ²
level 4	783 m ²	780 m ²
level 5	743 m ²	740 m ²
level 6	-	30 m ²
Total GFA	4660 m ²	4670 m ²
difference		+10 m ²
Total FSR	3.49:1	3.50:1
FSR residential	2.98:1	3.00:1
FSR commercial	0.51:1	0.50:1



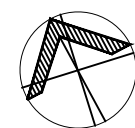
04 S4.55 - GROUND FLOOR PLAN



05 S4.55 - LEVEL 1-2 PLAN



01 S4.55 - LEVEL 3 PLAN



issue	date	description
1	02.12.21	preliminary for client review
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION
B	10.02.22	S4.55 APPLICATION

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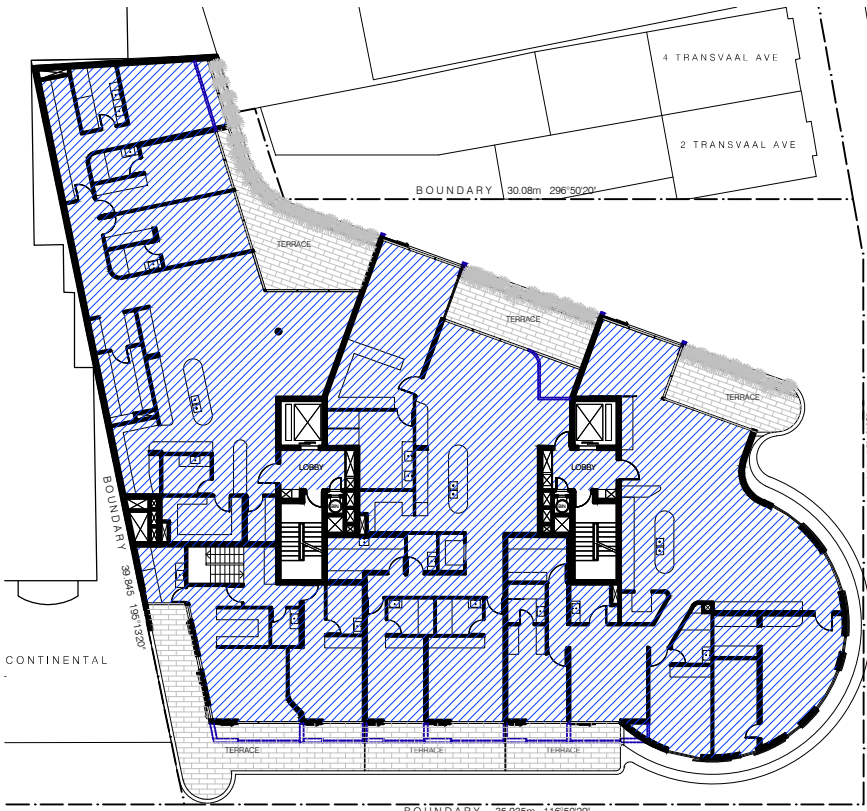
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ABN 80 003 635 372
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gfa diagrams 1
mixed use development
19-27 cross street, double bay

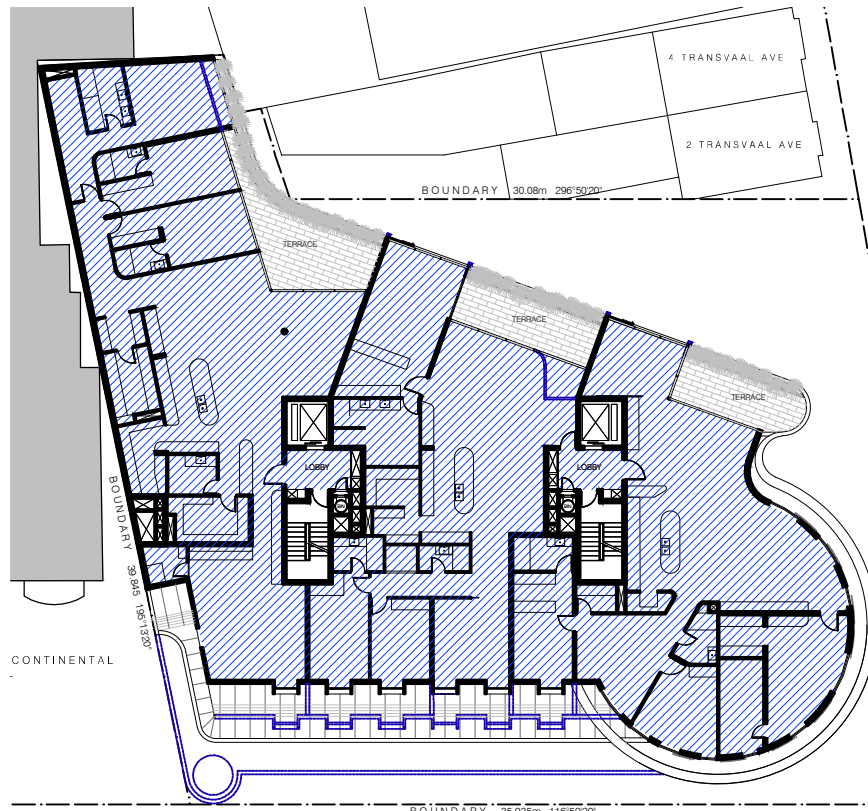
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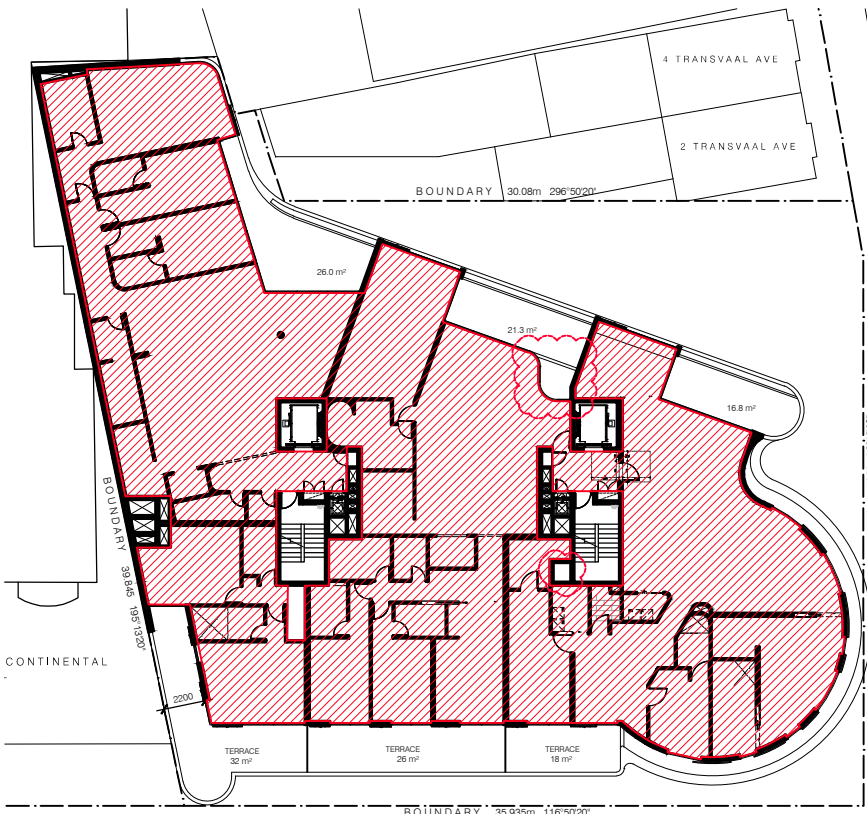
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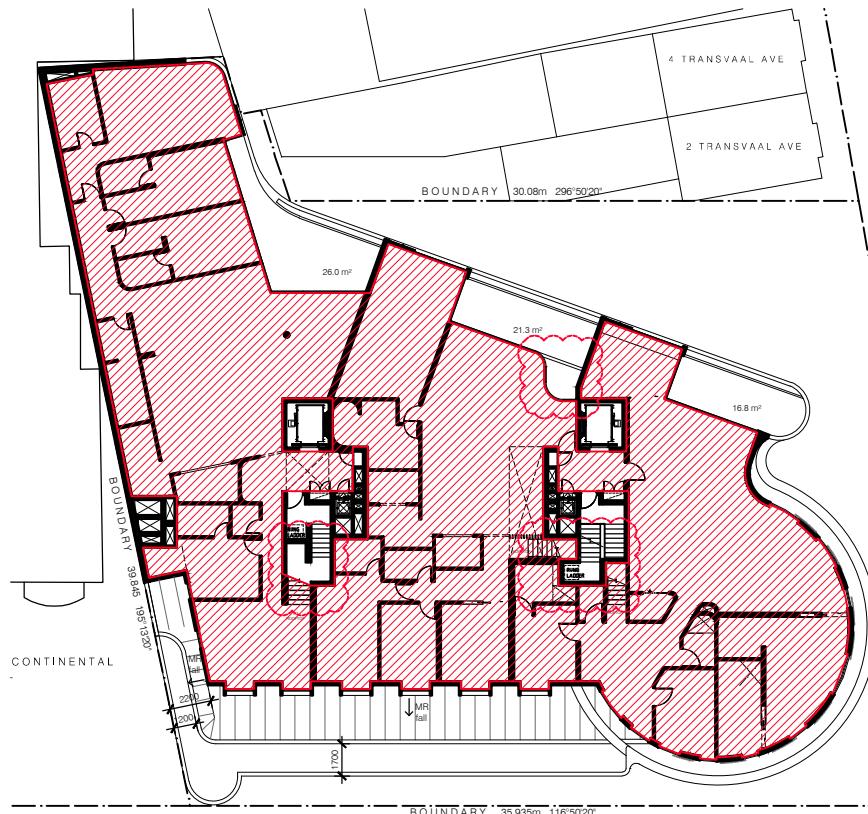
01 APPROVED DA - LEVEL 4 PLAN



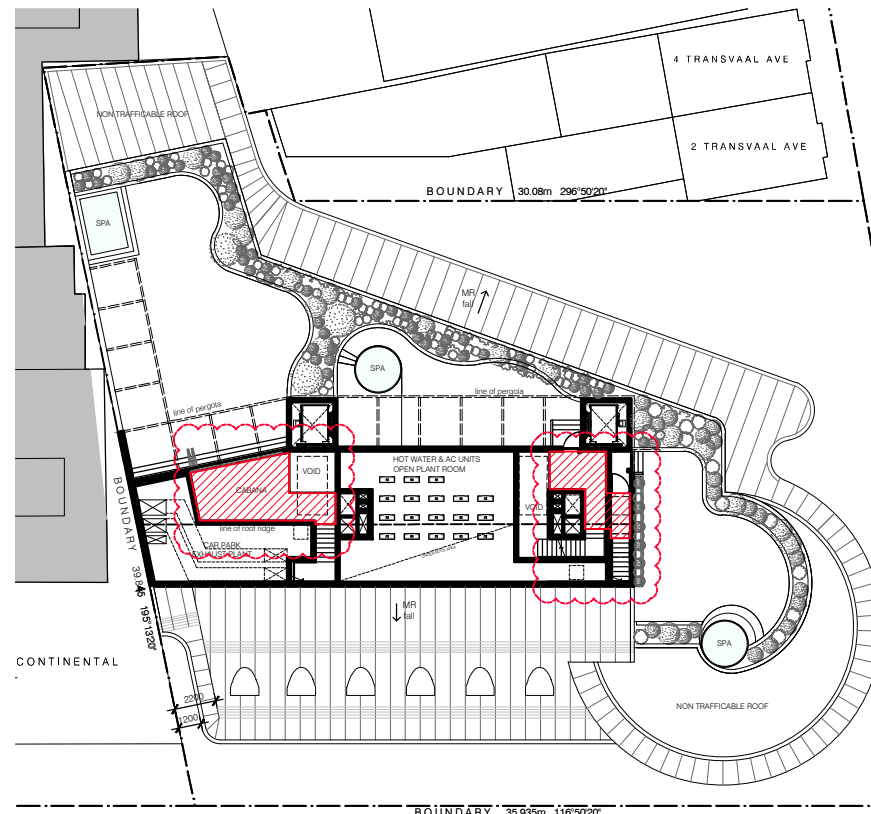
02 APPROVED DA - LEVEL 5 PLAN



04 S4.55 - LEVEL 4 PLAN

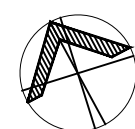


05 S4.55 - LEVEL 5 PLAN



01 LEVEL 6 PLAN

gfa calculations		
site area	1334 m ²	
	Approved DA	Proposed S4.55
ground floor	679 m ²	664 m ²
level 1	824.5 m ²	824.5 m ²
level 2	823.5 m ²	823.5 m ²
level 3	807 m ²	807 m ²
level 4	783 m ²	780 m ²
level 5	743 m ²	740 m ²
level 6	-	30 m ²
Total GFA	4660 m ²	4670 m ²
difference		+10 m ²
Total FSR	3.49:1	3.50:1
FSR residential	2.98:1	3.00:1
FSR commercial	0.51:1	0.50:1



issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION
B	10.02.22	S4.55 APPLICATION

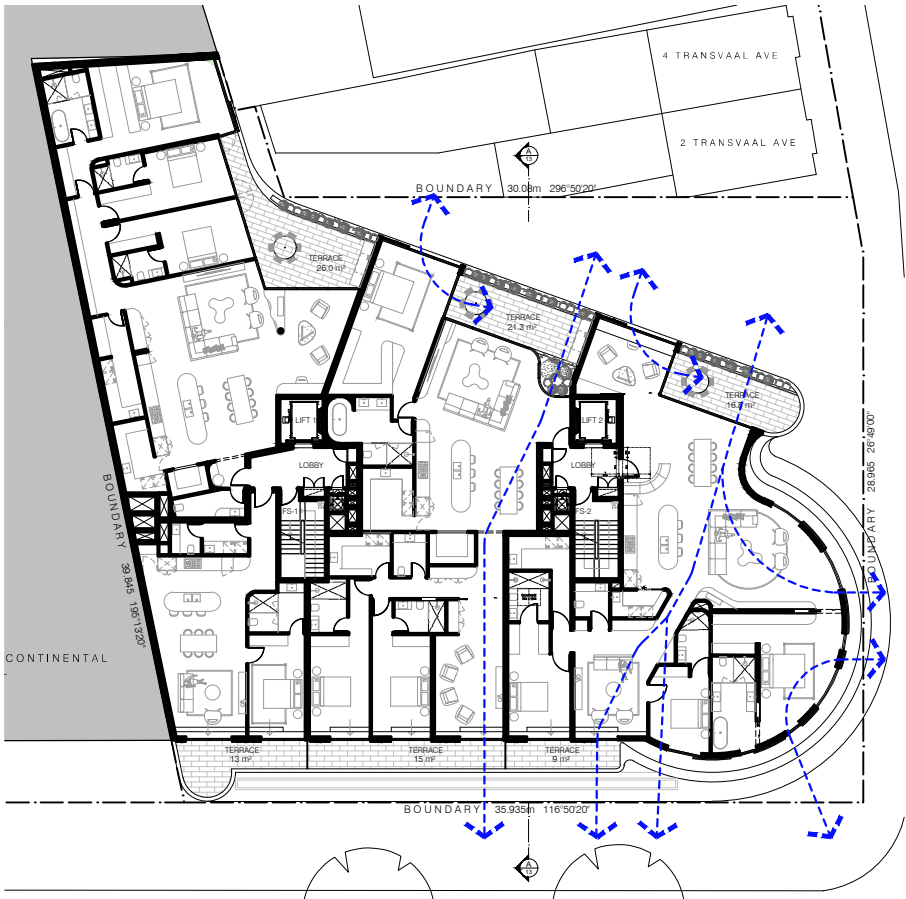
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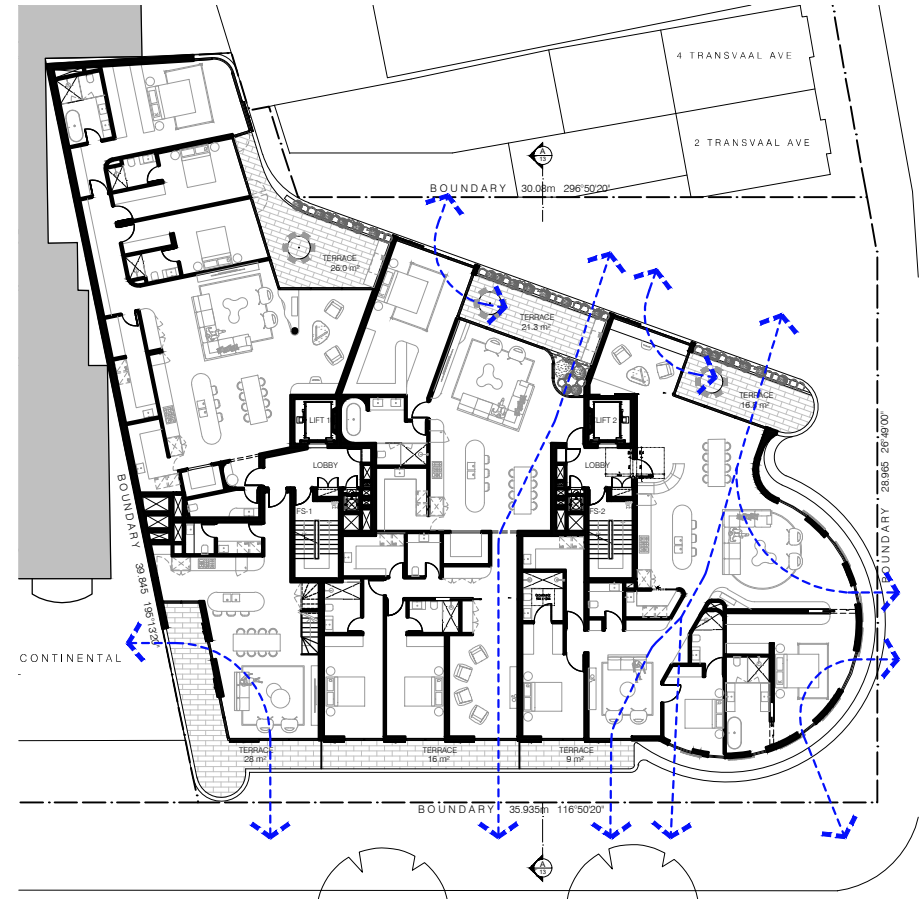
gfa diagrams 2
mixed use development
19-27 cross street, double bay

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1725

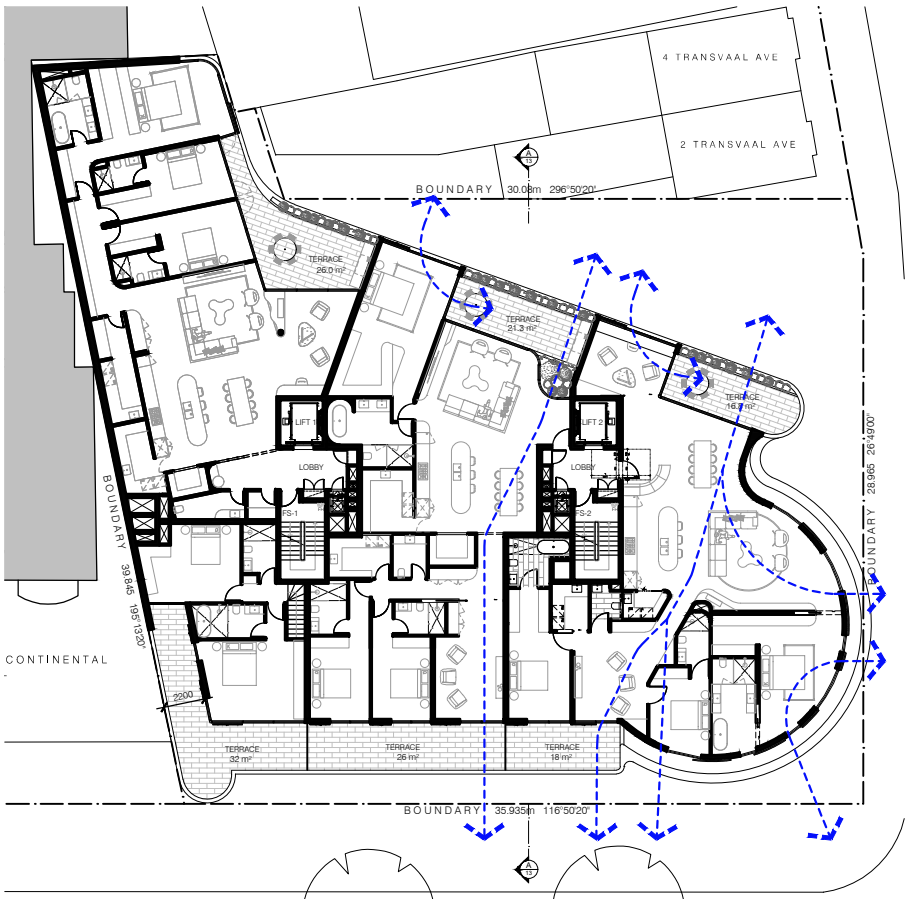




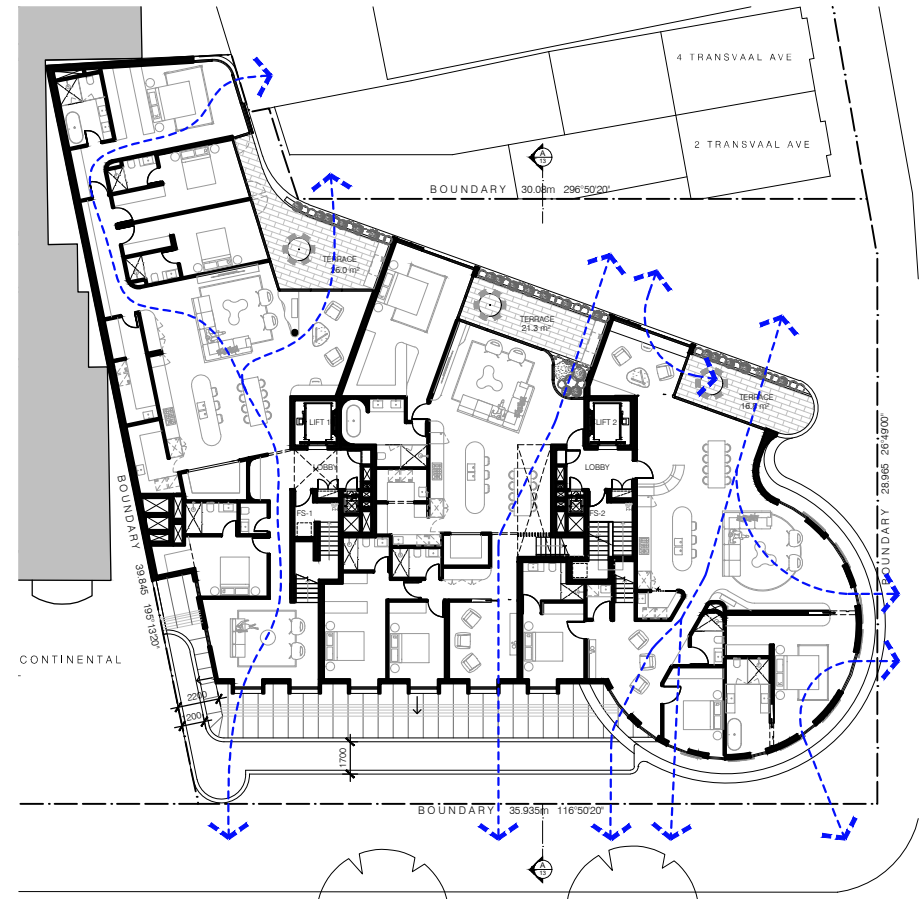
01 LEVEL 1 - 2 PLAN



03 LEVEL 3 PLAN



04 LEVEL 4 PLAN



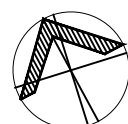
05 LEVEL 5 PLAN

CROSS VENTILATION

12 UNITS OUT OF 18 ACHIEVES CROSS VENTILATION.

PERCENTAGE OF UNITS CROSS VENTILATED
66.6%

ADG REQUIREMENT
60%



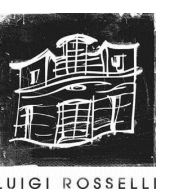
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2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

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cross ventilation
diagram
mixed use development
19-27 cross street, double bay

S4.55_20 issue A
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cadfile s4.55_20 cross ventilation diagram.dwg
1725



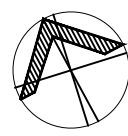


LEGEND:

- ADG MINIMUM BEDROOM SIZE
- ADG MINIMUM BALCONY SIZE
- ADG ROOM DEPTH 8M
- ADG MINIMUM STORAGE

INTERCONTINENTAL HOTEL

TRANSVAAL AVENUE



issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

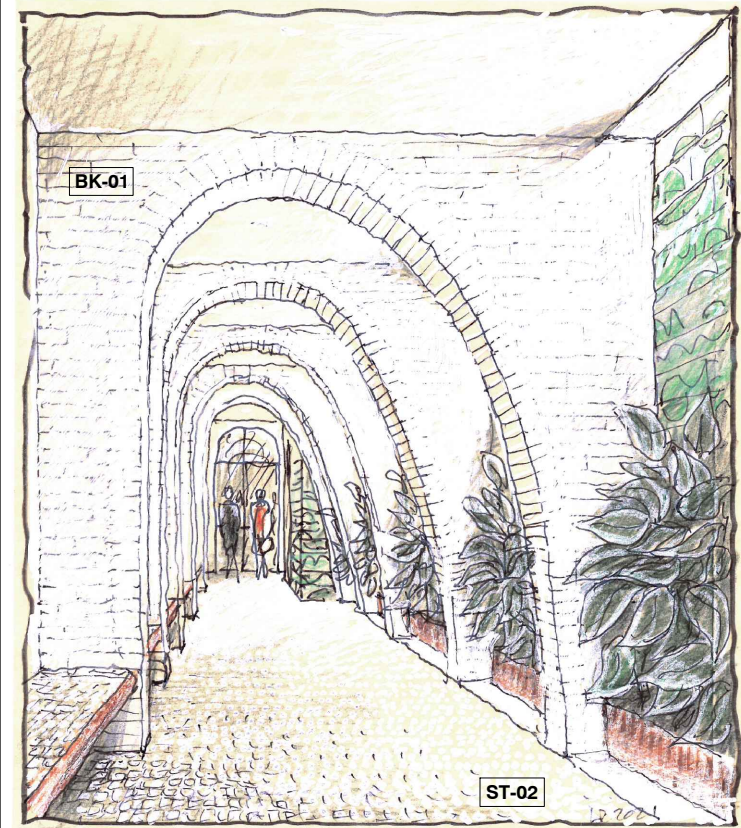
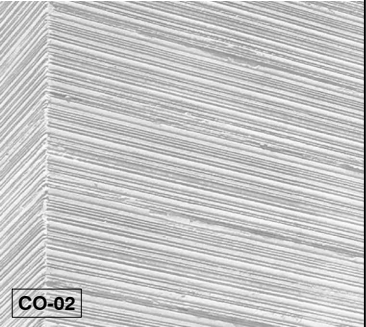
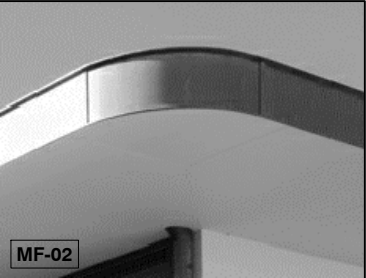
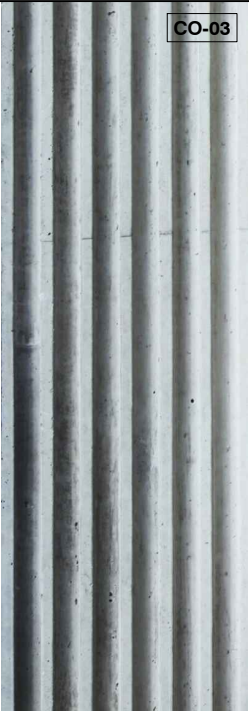
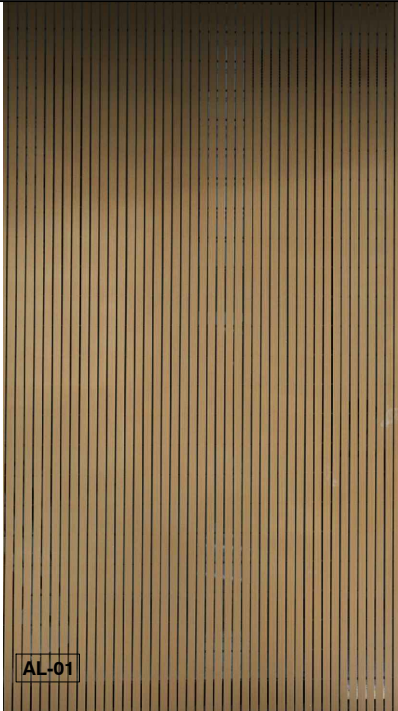
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adg diagrams
mixed use development
19-27 cross street, double bay

S4.55_21 issue A
scale 1:100
plotdate
cadfile s4.55_21 adg diagrams.dwg
1725





CODE	COMPONENT	MATERIAL	FINISH	COLOUR
EXTERNAL				
AL-01	External Sliding Screens	Aluminium Grate Flooring in frame	Powdercoat	(Dulux) Copper
AL-02	Expressed "Rings" & Handrails	Custom made aluminium box section	Powdercoat	(Dulux) White
AL-03	Curved Metal Fascias	Aluminium	Powdercoat	(Dulux) White
BK-01	Lobby Brickwork	Long format face brickwork		Off White
CO-01	Rendered Walls - Smooth	Acrylic Render	Smooth	Off White
CO-02	External Wall Panels - Option 1	Acrylic Render	Scratched / combed	Off White
CO-03	External Wall Panels - Option 2	Precast or Off-form concrete with ribs	Class 2	China Whire
CO-04	Off-form concrete eaves / soffits		Paint	China White
FC-01	FC Eaves / Soffits - Set joints	FC / Villaboard panels with set joints	Paint	China White
FC-02	FC Eaves / Soffits - Cover Batten	FC / Villaboard with Zinc cover battens	Paint	China White
GL-01	Glazing, Retail Shopfronts	Low Iron, Low Reflectivity Glass		Clear
GL-02	Apartment Operable windows	Sashless double hung or "Tilt & Turn"	Anodised aluminium	Black
GL-03	Apartment Fixed Glazing	Single Glazed		Low E
GL-04	Apartment Sliding Doors	Equal to Vitrocsa	Anodised aluminium	Black
GL-05	Stacking Doors	Lotus "Glass-STAX" frameless	Anodised aluminium	Black
MF-01	Handrail - balcony	Galvanised steel	Micaceous Iron Oxide	Black
MF-02	Retail Awning Fascia	Folded metal fascia	Zinc	Quartz
RF-01	Roofing, Metal	Standing Seam Metal Roof Sheet	Zinc or Colorbond	Quartz / Basalt
RF-02	Gutters, Metal	Custom folded gutters	Zinc or Colorbond	Quartz / Basalt
ST-01	Balcony Tiling - to match internal	Porcelain or Vitrified Ceramic tile	Non-slip	
ST-02	Ground Floor Paving	Natural stone	Non-slip	

issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

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exterior finishes
mixed use development
19-27 cross street, double bay

S4.55_22 issue A
scale nts
plotdate
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1725



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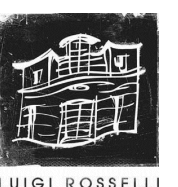
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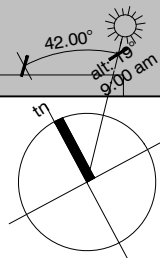
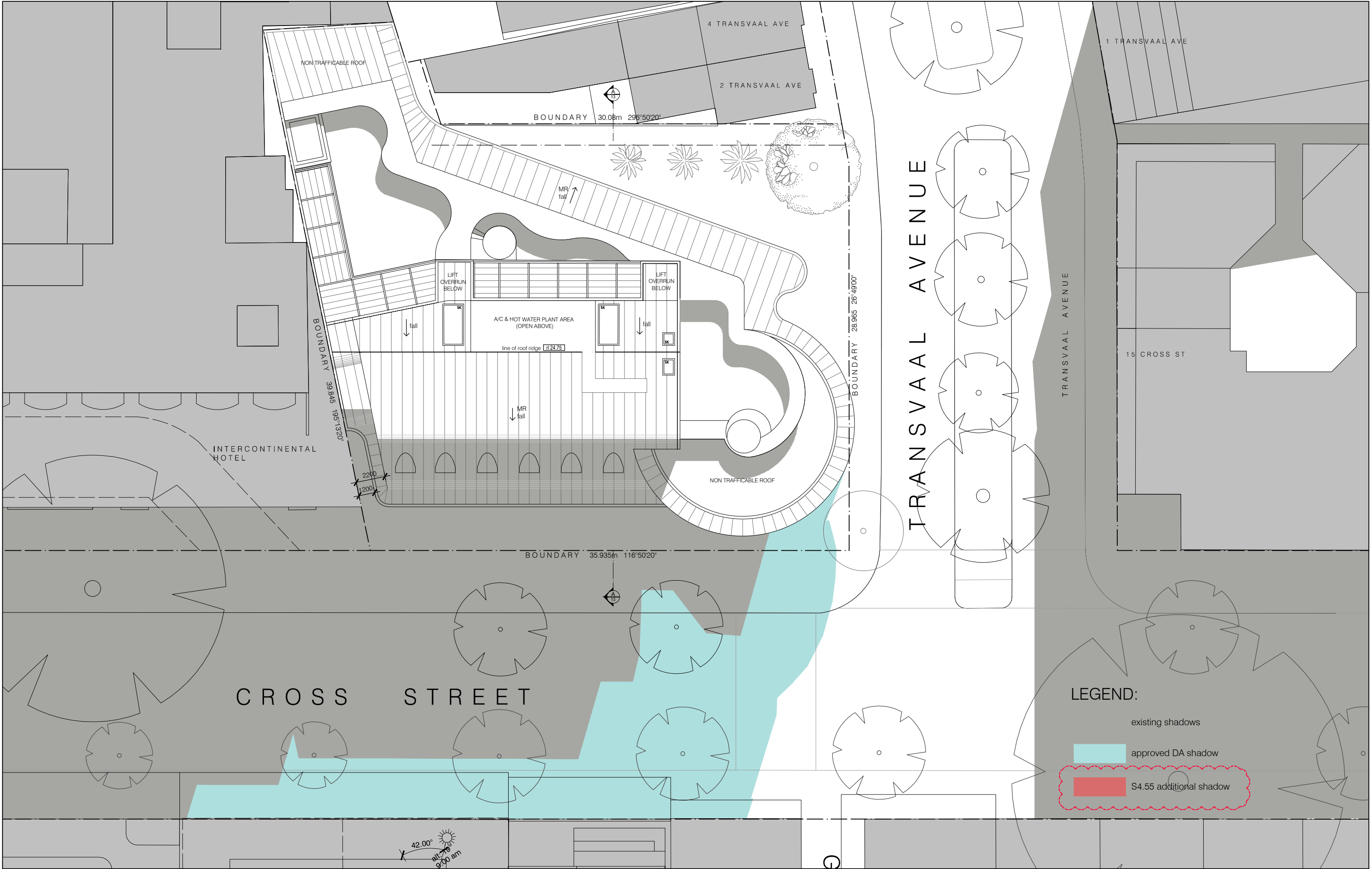
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photomontage
mixed use development
19-27 cross street, double bay

S4.55_23 issue A
scale
plotdate
cadfile s4.55_23
photomontage.dwg
1725





issue	date	description
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A	31.01.22	S4.55 APPLICATION

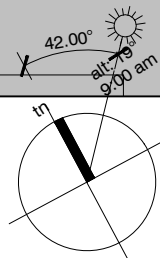
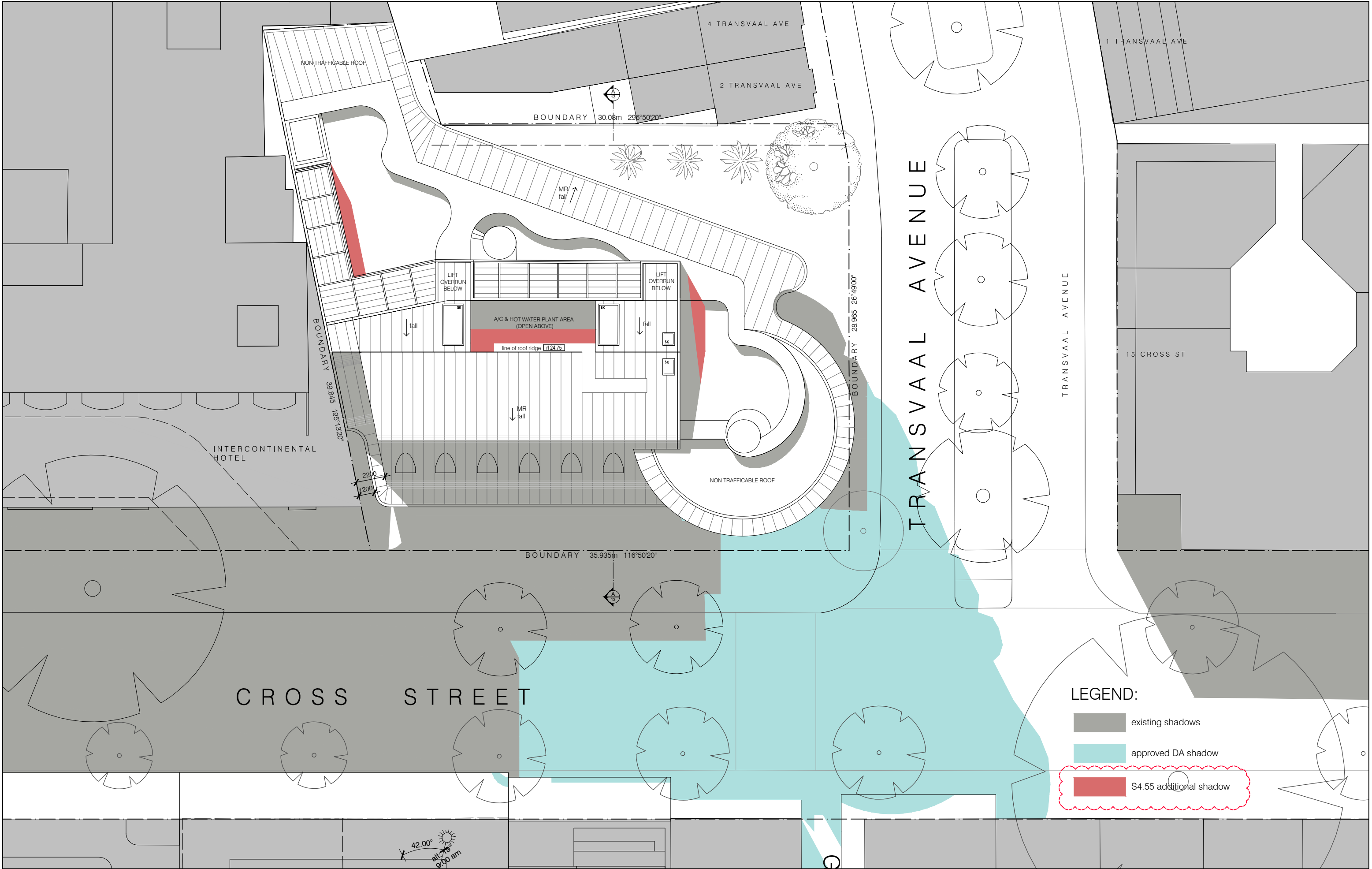
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shadow diagrams
9am 21st june
mixed use development
19-27 cross street, double bay

S4.55_24 issue **A**
scale 1:250@A1
plotdate
cadfile s4.55_24 shadow diagrams 9am 21st june.dwg
1725





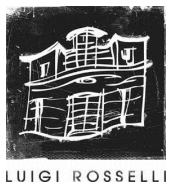
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A	31.01.22	S4.55 APPLICATION

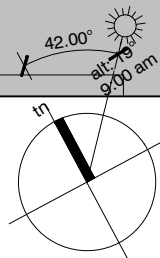
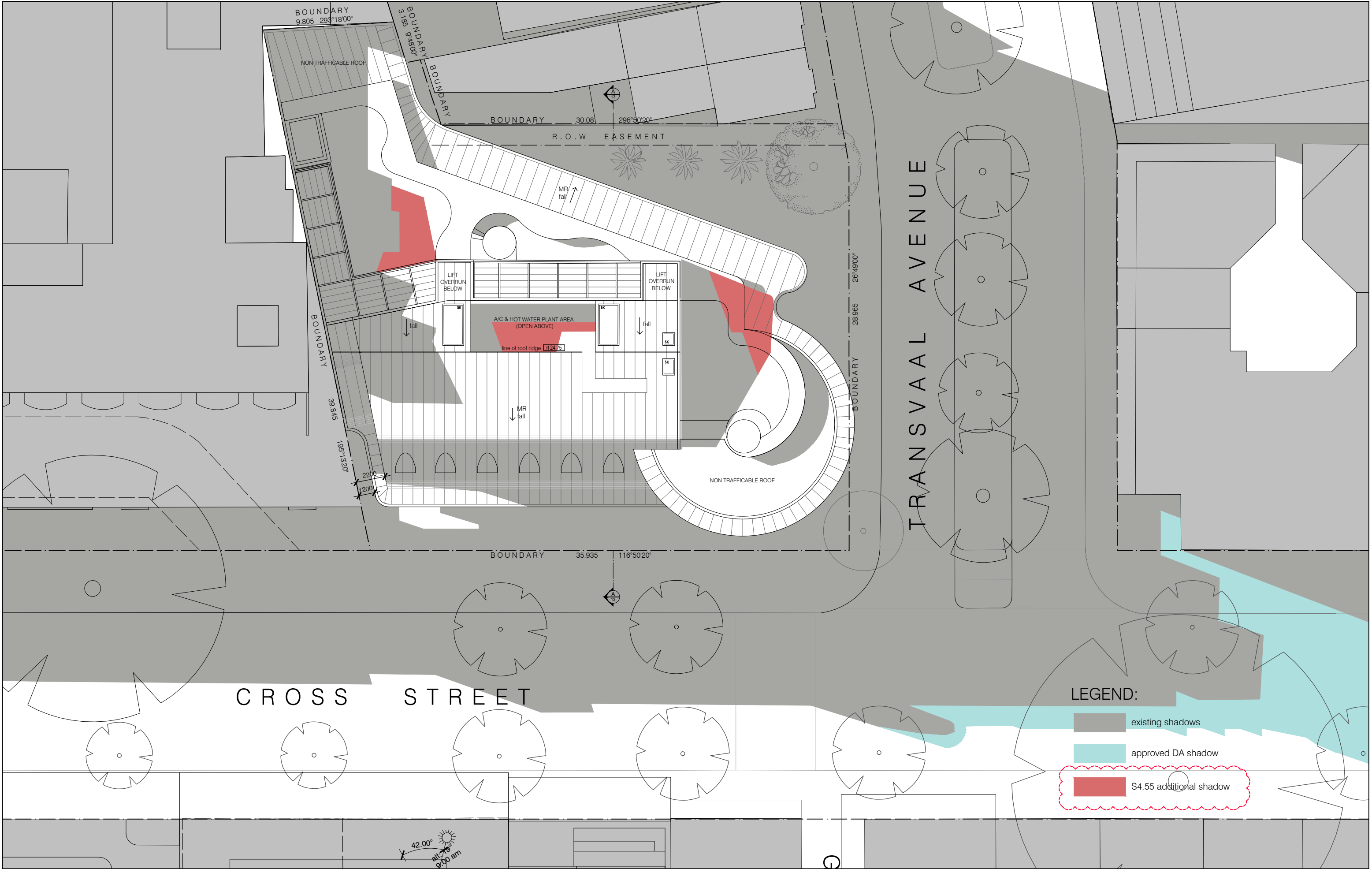
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shadow diagrams
12pm 21st june
mixed use development
19-27 cross street, double bay

S4.55_25 issue **A**
scale 1:250@A1
plotdate
cadfile s4.55_25 shadow diagrams 12pm 21st june.dwg
1725





issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

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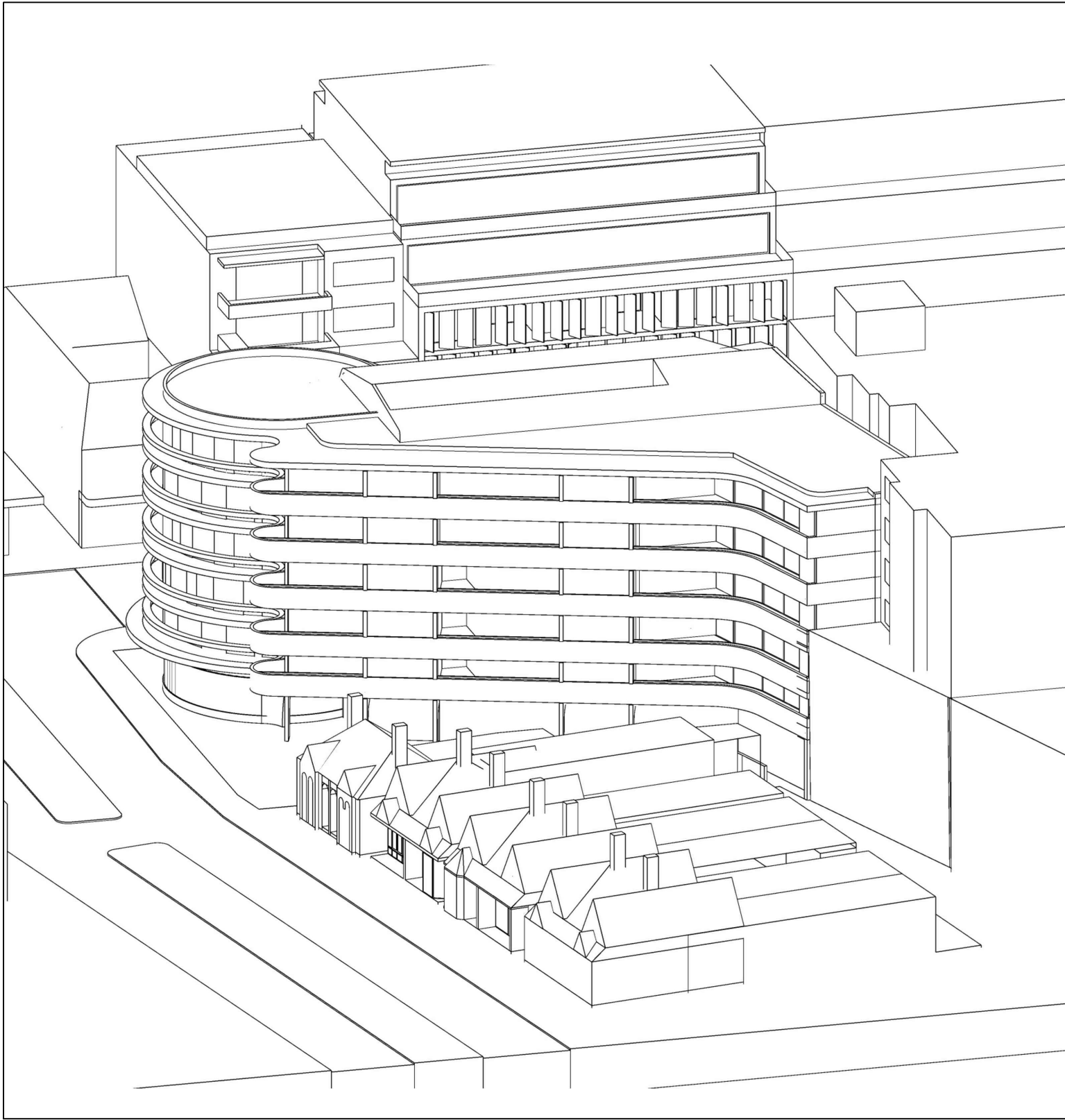
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shadow diagrams
3pm 21st june
mixed use development
19-27 cross street, double bay

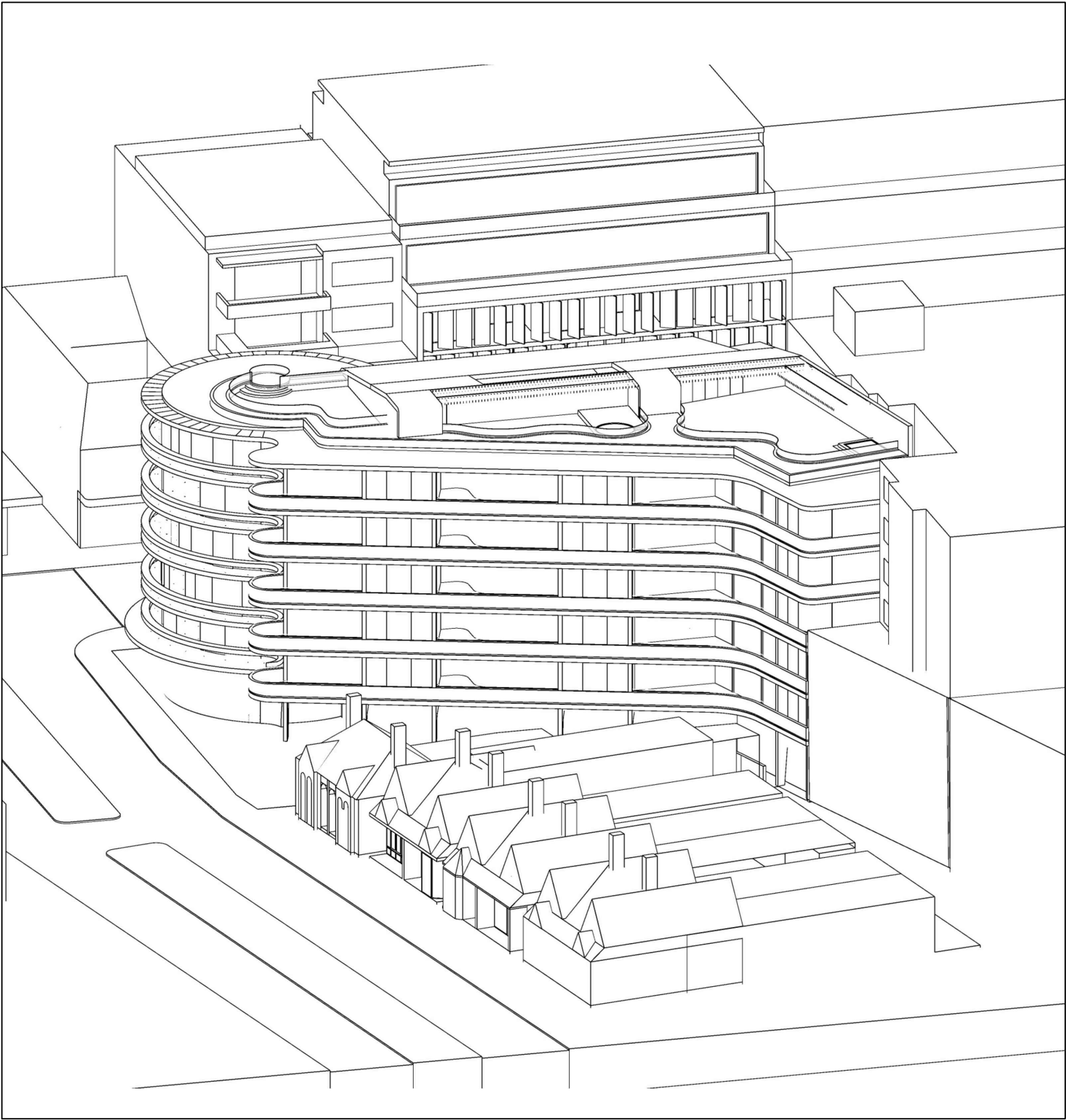
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1725



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SUNEYE VIEW 21ST JUNE - 09:00 AM
APPROVED DA



SUNEYE VIEW 21ST JUNE - 09:00 AM
PROPOSED S4.55

issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

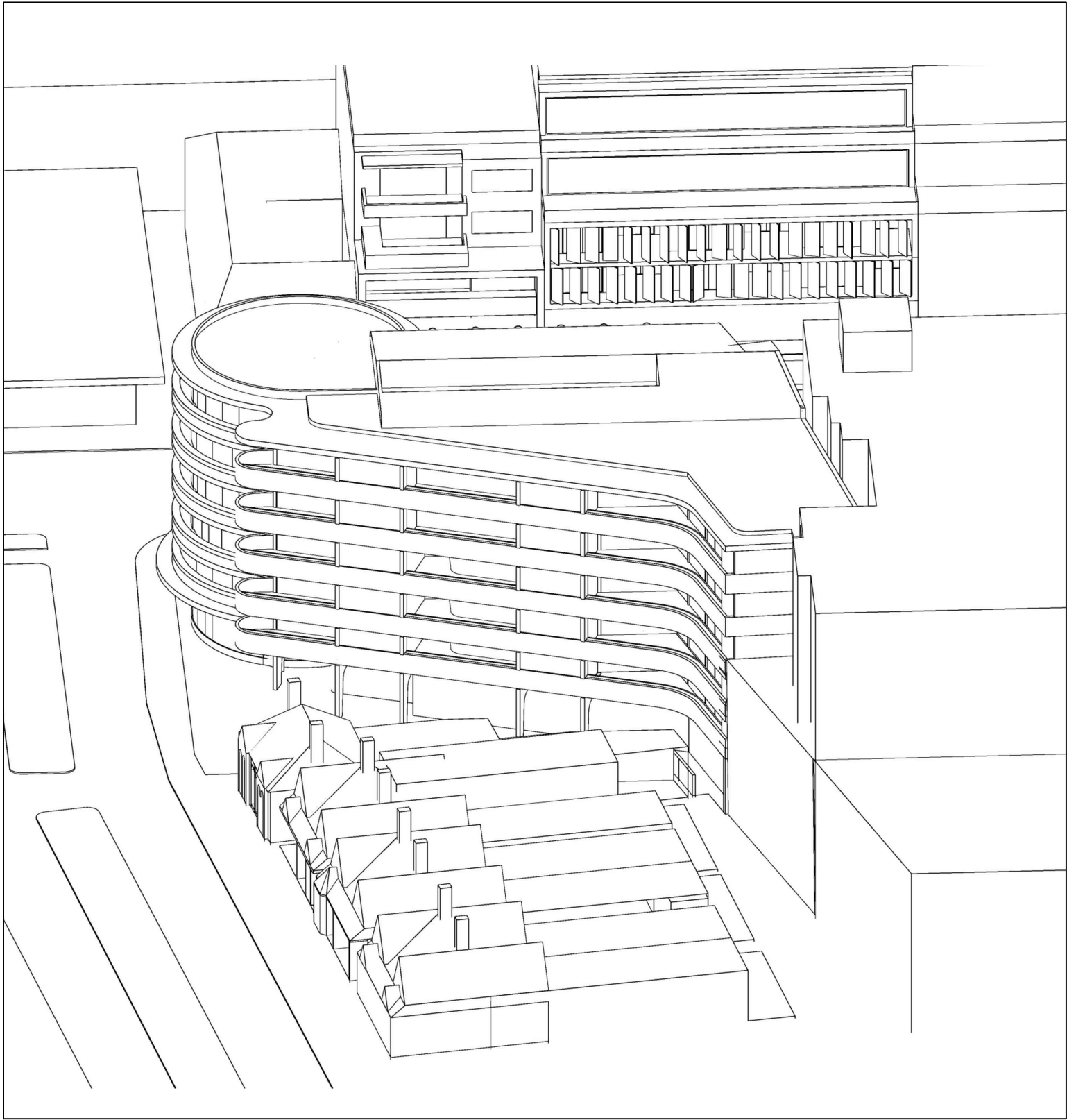
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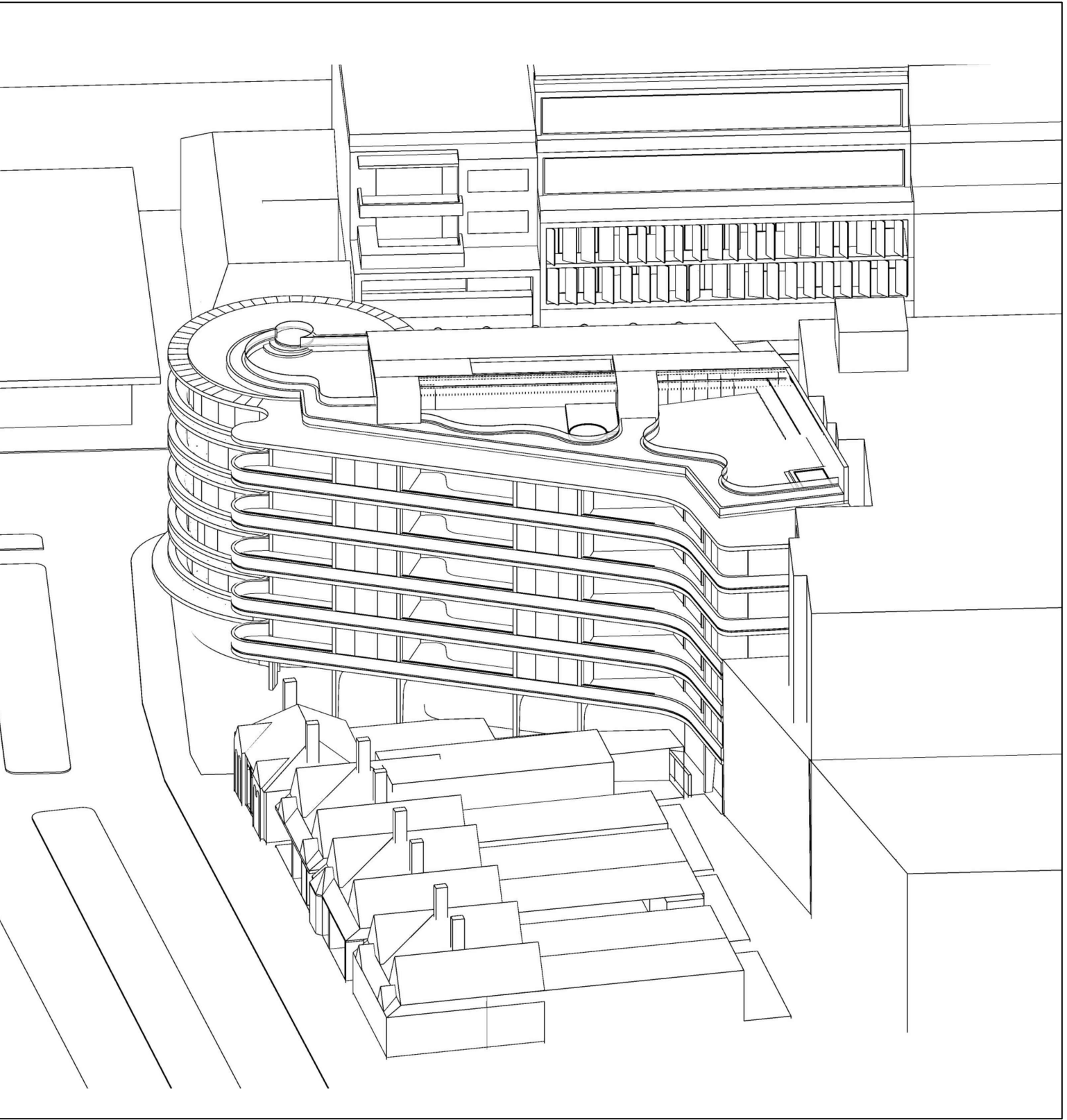
solar analysis 9am
21st june
mixed use development
19-27 cross street, double bay

S4.55_27 issue A
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cadfile s4.55_27 solar analysis
9am 21st june.dwg
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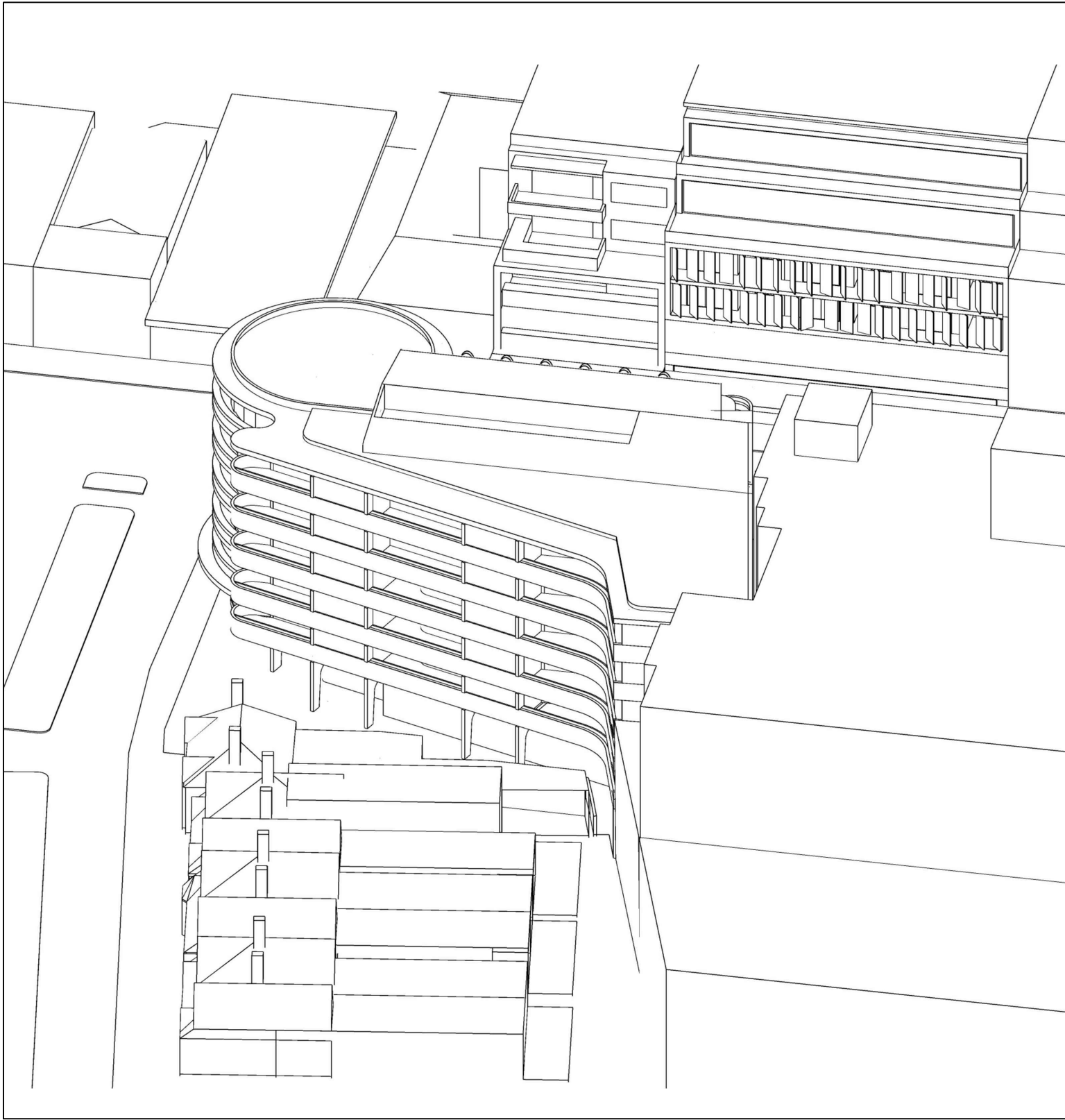




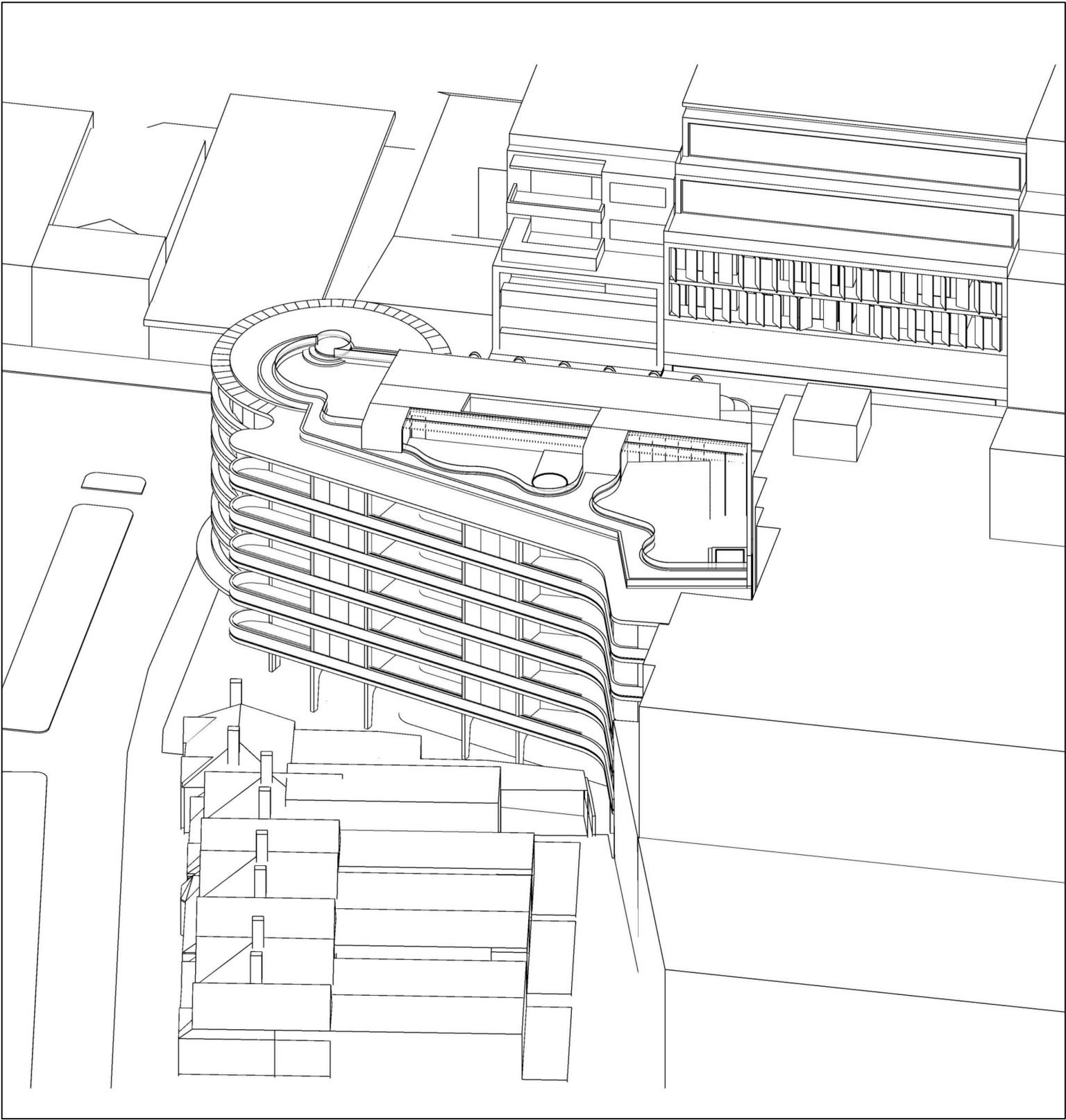
SUNEYE VIEW 21ST JUNE - 10:00 AM
APPROVED DA



SUNEYE VIEW 21ST JUNE - 10:00 AM
PROPOSED S4.55



SUNEYE VIEW 21ST JUNE - 11:00 AM
APPROVED DA



SUNEYE VIEW 21ST JUNE - 11:00 AM
PROPOSED S4.55

issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

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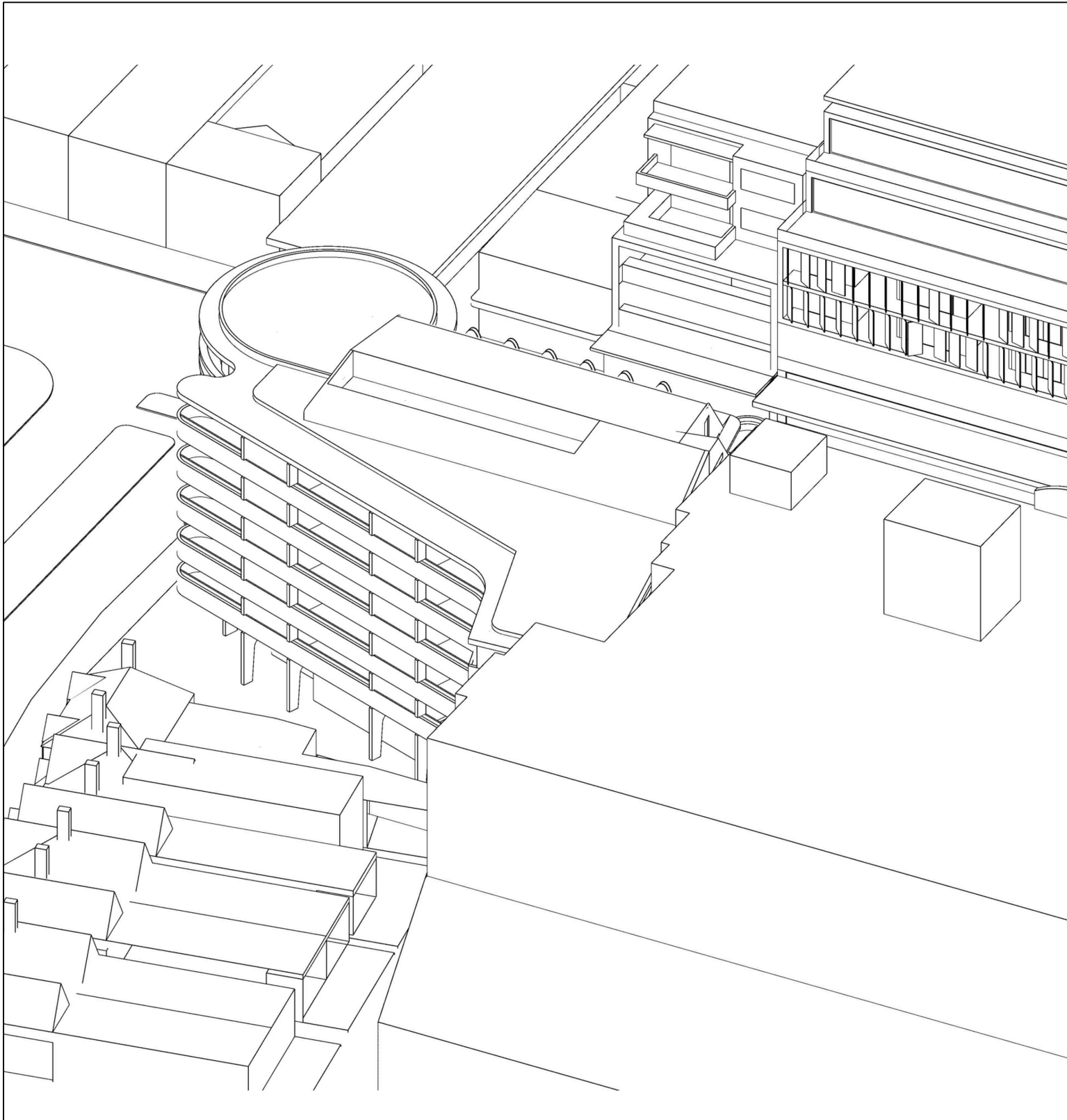
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solar analysis 11am
21st june
mixed use development
19-27 cross street, double bay

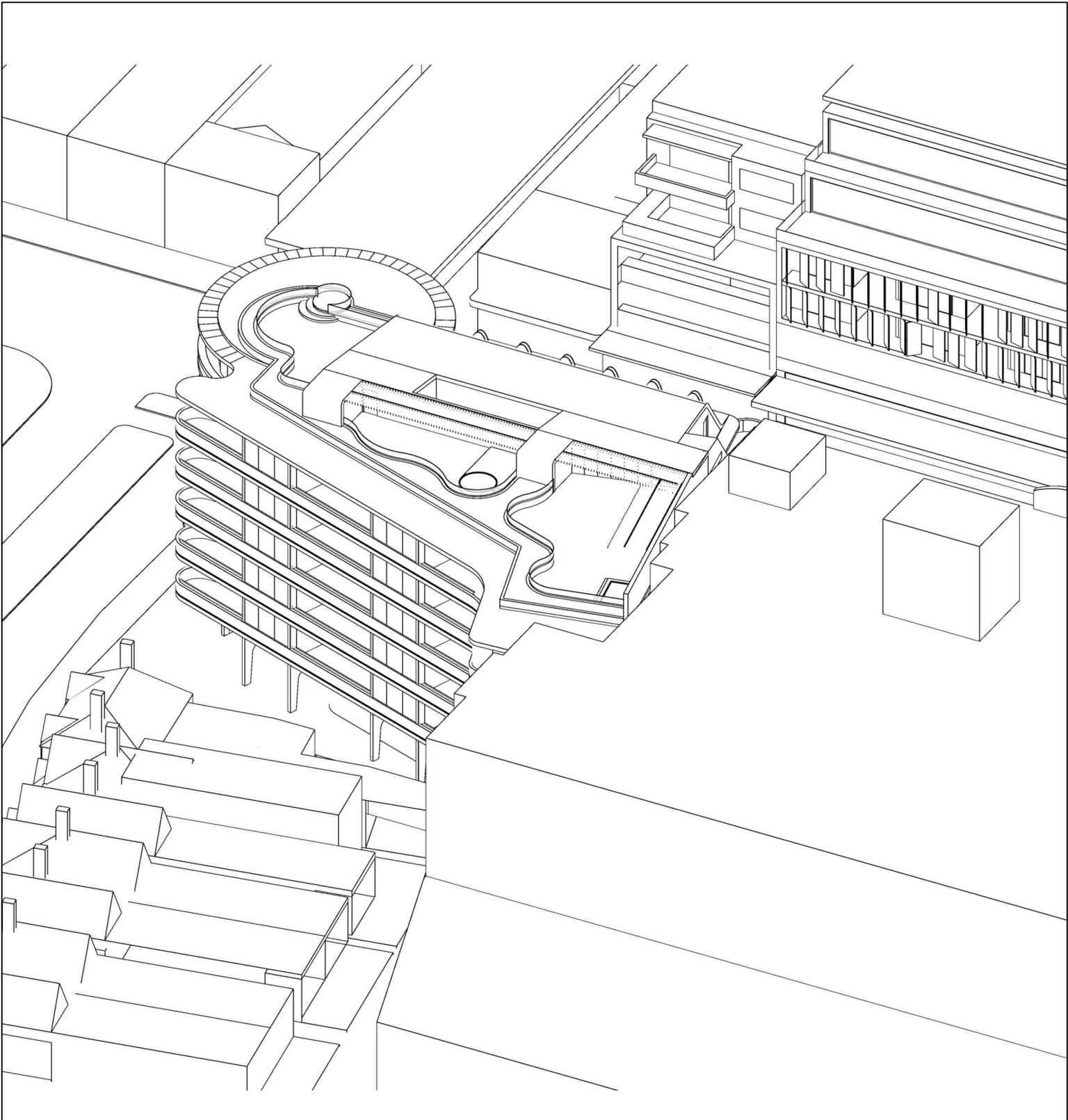
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10am 21st june.dwg
1725



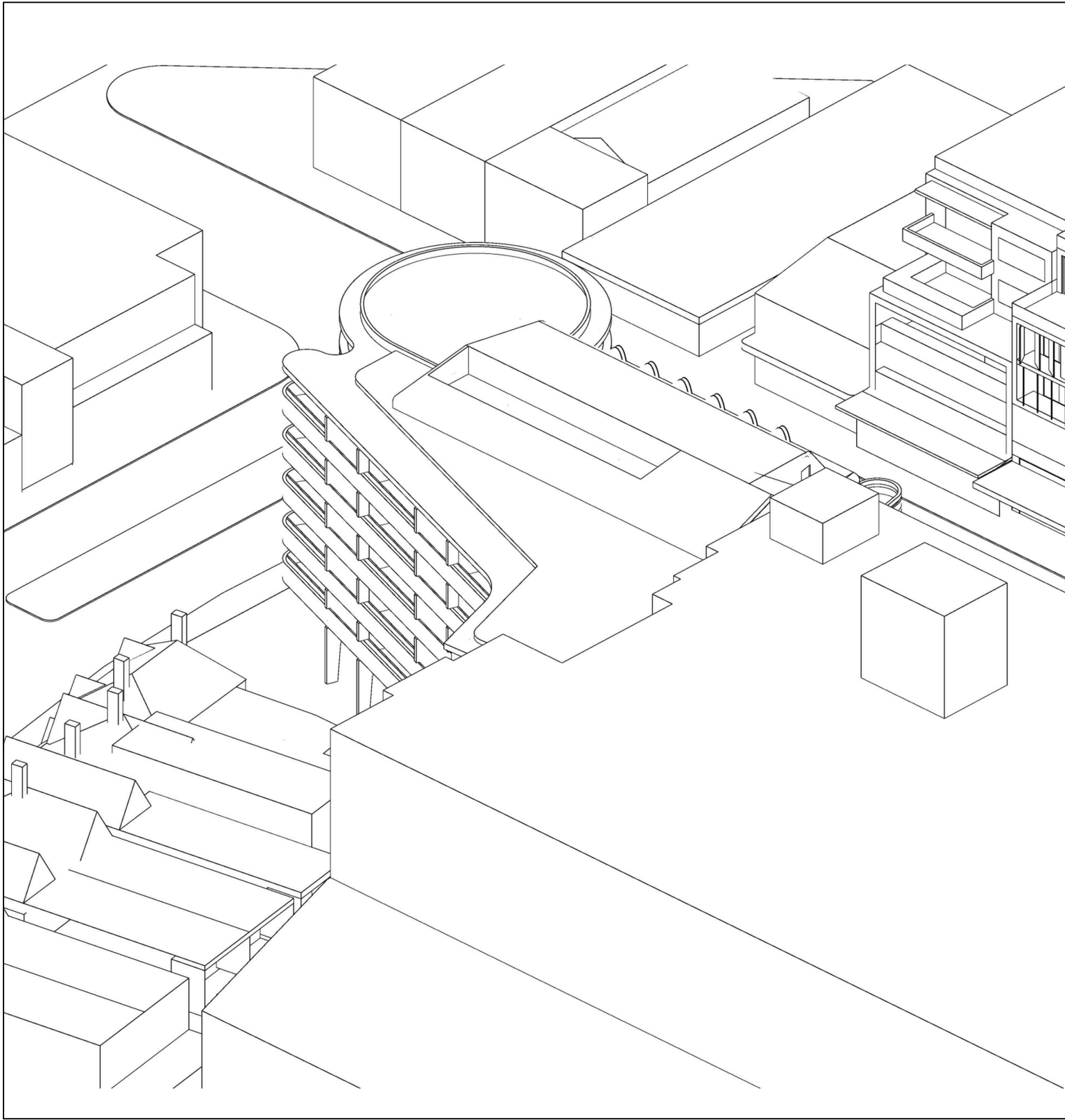
LUIGI ROSSELLI



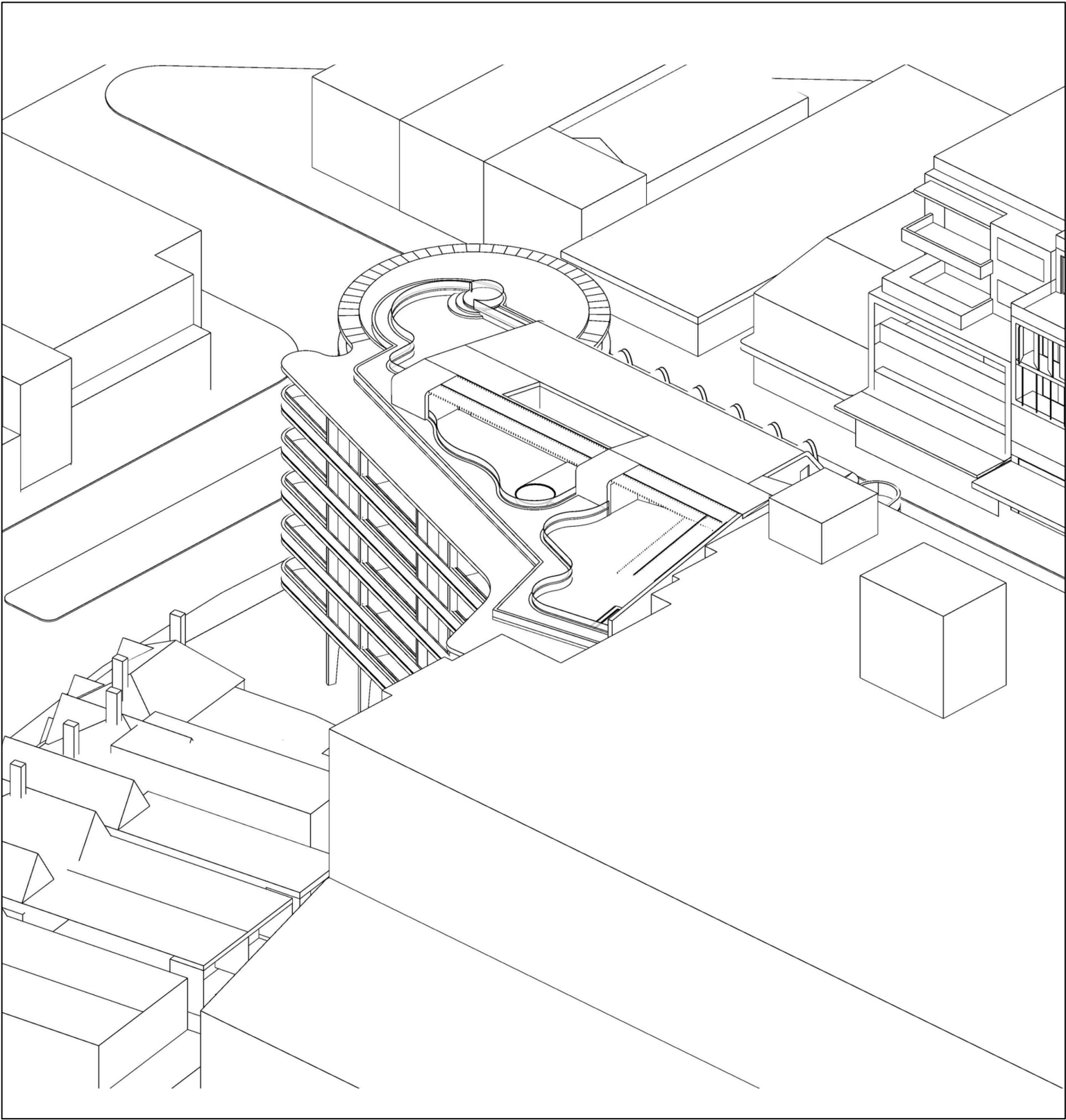
SUNEYE VIEW 21ST JUNE - 12:00 PM
APPROVED DA



SUNEYE VIEW 21ST JUNE - 12:00 PM
PROPOSED S4.55



SUNEYE VIEW 21ST JUNE - 1:00 PM
APPROVED DA



SUNEYE VIEW 21ST JUNE - 1:00 PM
PROPOSED S4.55

issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

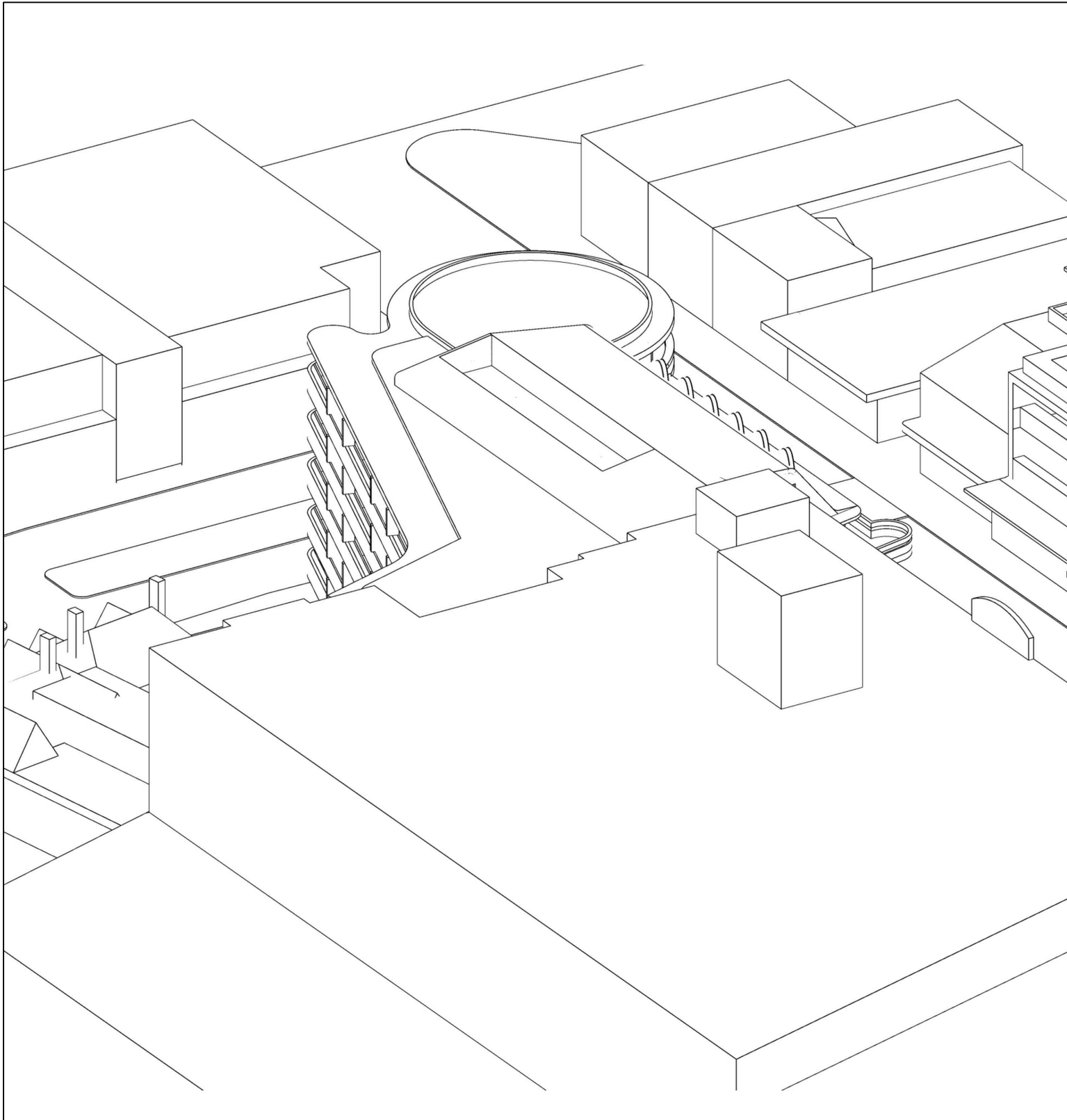
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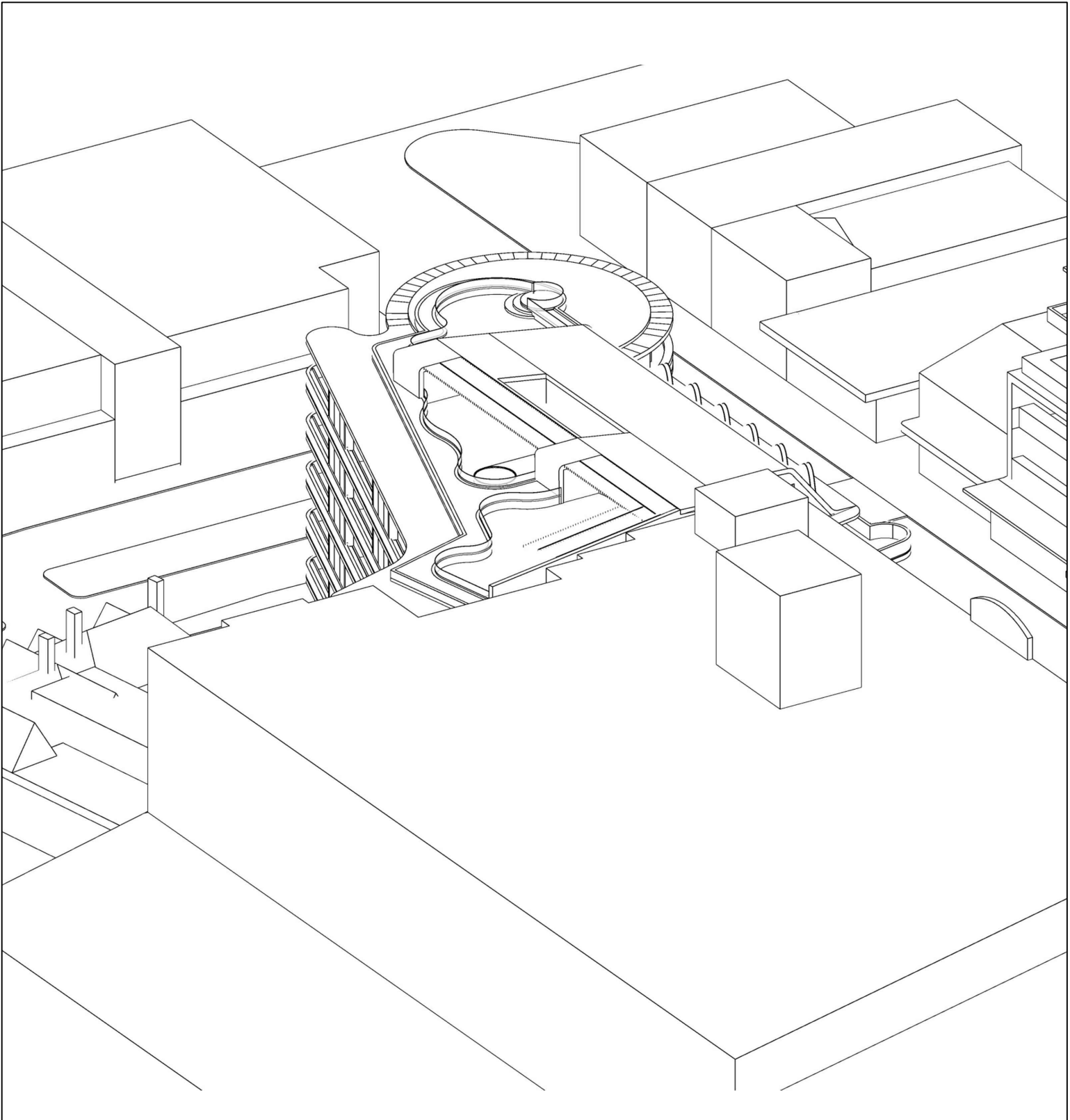
solar analysis 1pm
21st june
mixed use development
19-27 cross street, double bay

S4.55_31 issue A
scale
plotdate
cadfile s4.55_31 solar analysis
1pm 21st june.dwg
1725

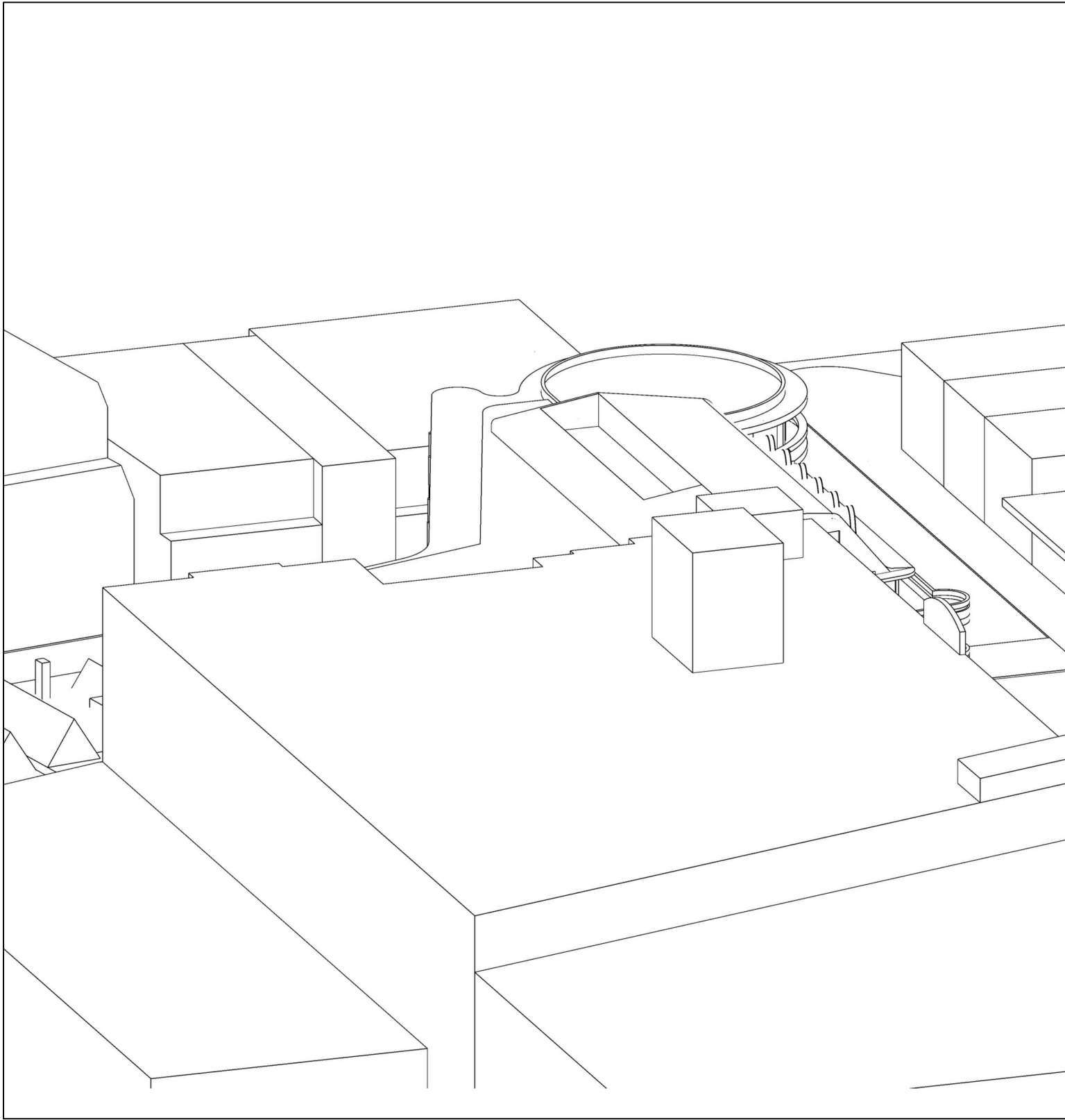




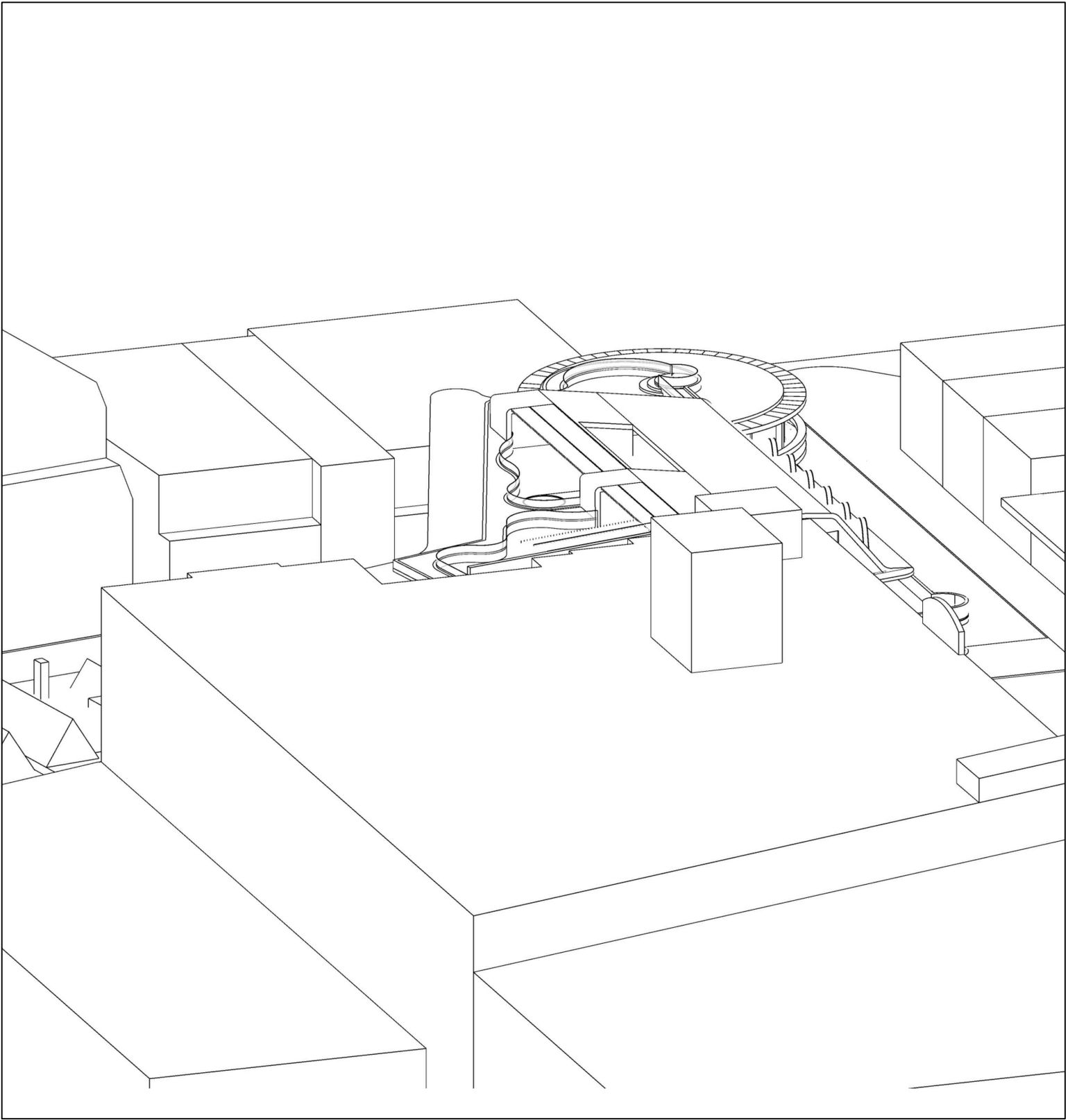
SUNEYE VIEW 21ST JUNE - 2:00 PM
APPROVED DA



SUNEYE VIEW 21ST JUNE - 2:00 PM
PROPOSED S4.55



SUNEYE VIEW 21ST JUNE - 3:00 PM
APPROVED DA



SUNEYE VIEW 21ST JUNE - 3:00 PM
PROPOSED S4.55

issue	date	description
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

The Contractor shall verify all dimensions & levels on the site.
Written dimensions to take preference over scaled dimensions.
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solar analysis 3pm
21st june
mixed use development
19-27 cross street, double bay

S4.55_33 issue A
scale
plotdate
cadfile s4.55_33 solar analysis
3pm 21st june.dwg
1725

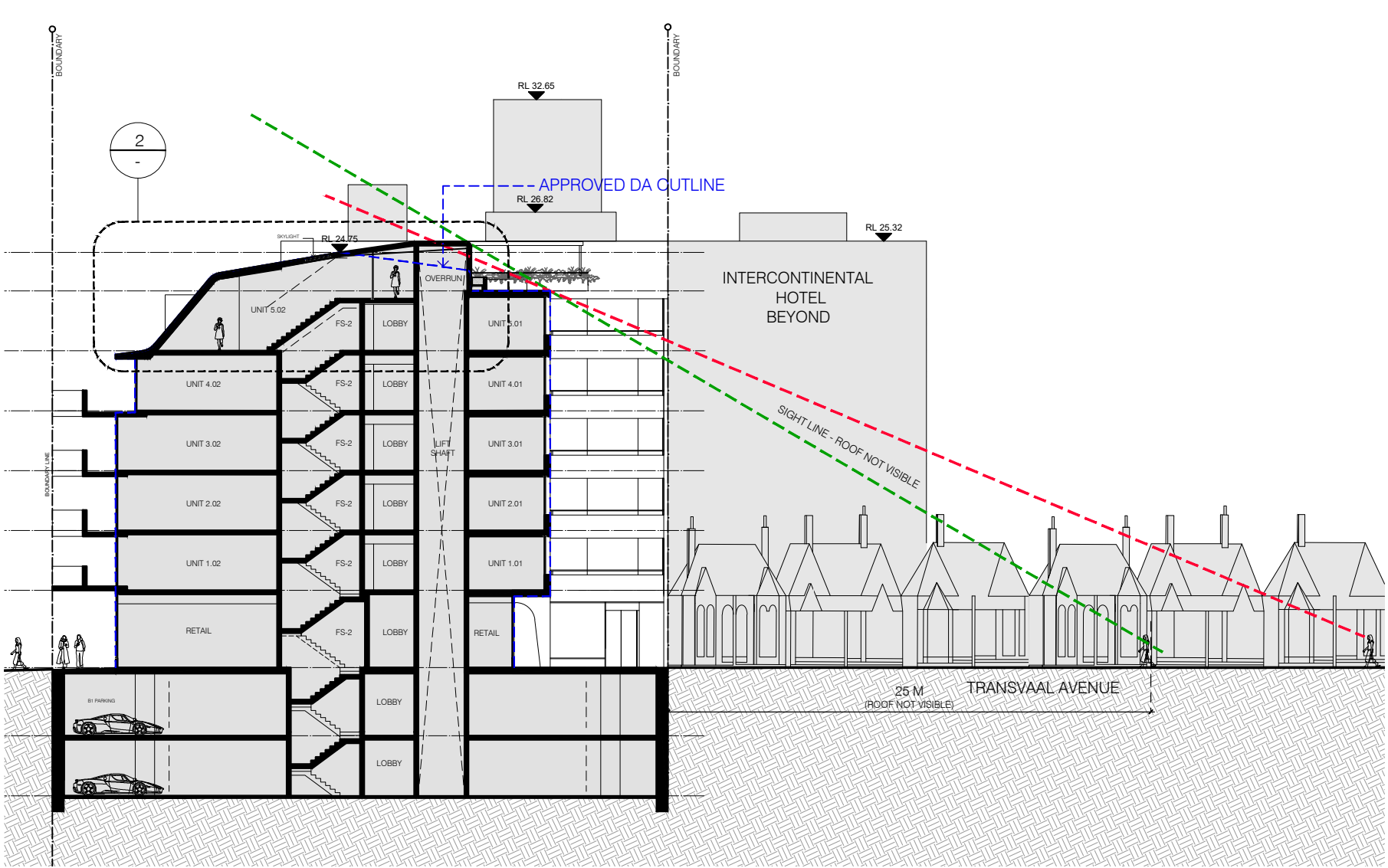


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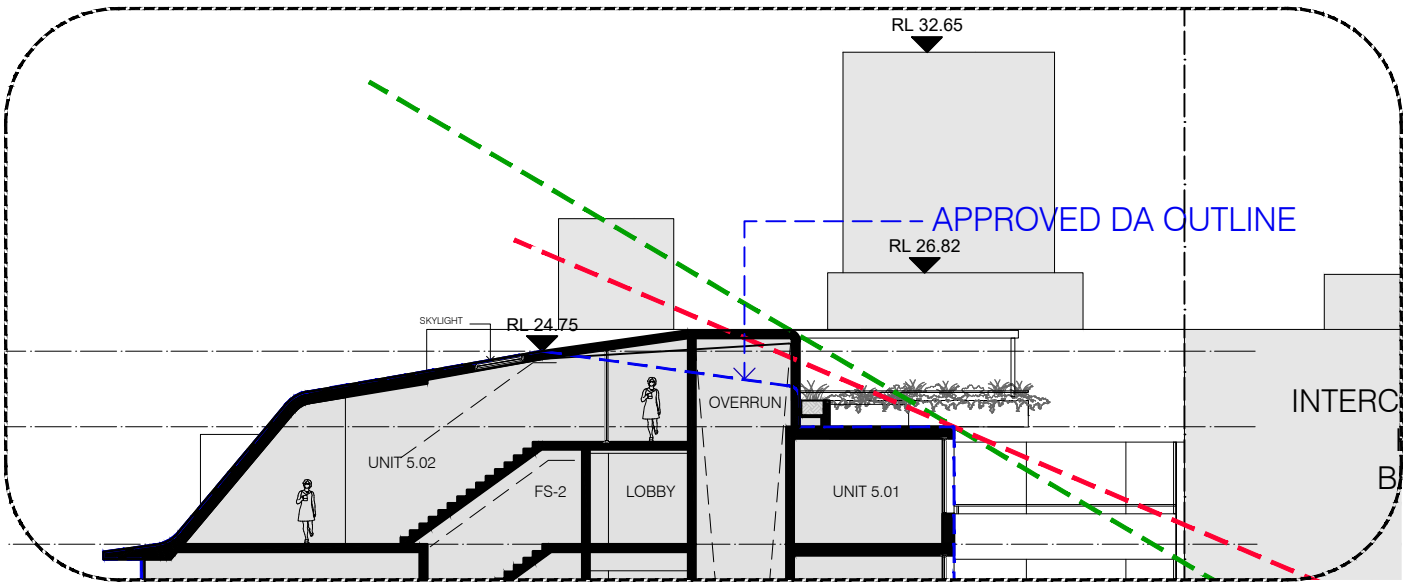


A KEY PLAN

- LEGEND:
- ROOF NOT VISIBLE FROM PUBLIC DOMAIN
 - ROOF VISIBLE FROM PUBLIC DOMAIN
 - SIGHTLINE OF ROOF NOT VISIBLE
 - SIGHTLINE OF ROOF VISIBLE



1 SECTION 1
SIGHTLINE DIAGRAM



2 BLOW UP SECTION

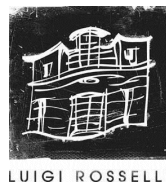
issue	date	description
1	02.12.21	preliminary for client review
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

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sightline diagram
mixed use development
19-27 cross street, double bay

S4.55_35 issue A
scale varies
plotdate
cadfile s4.55_35 sightline diagram.dwg
1725



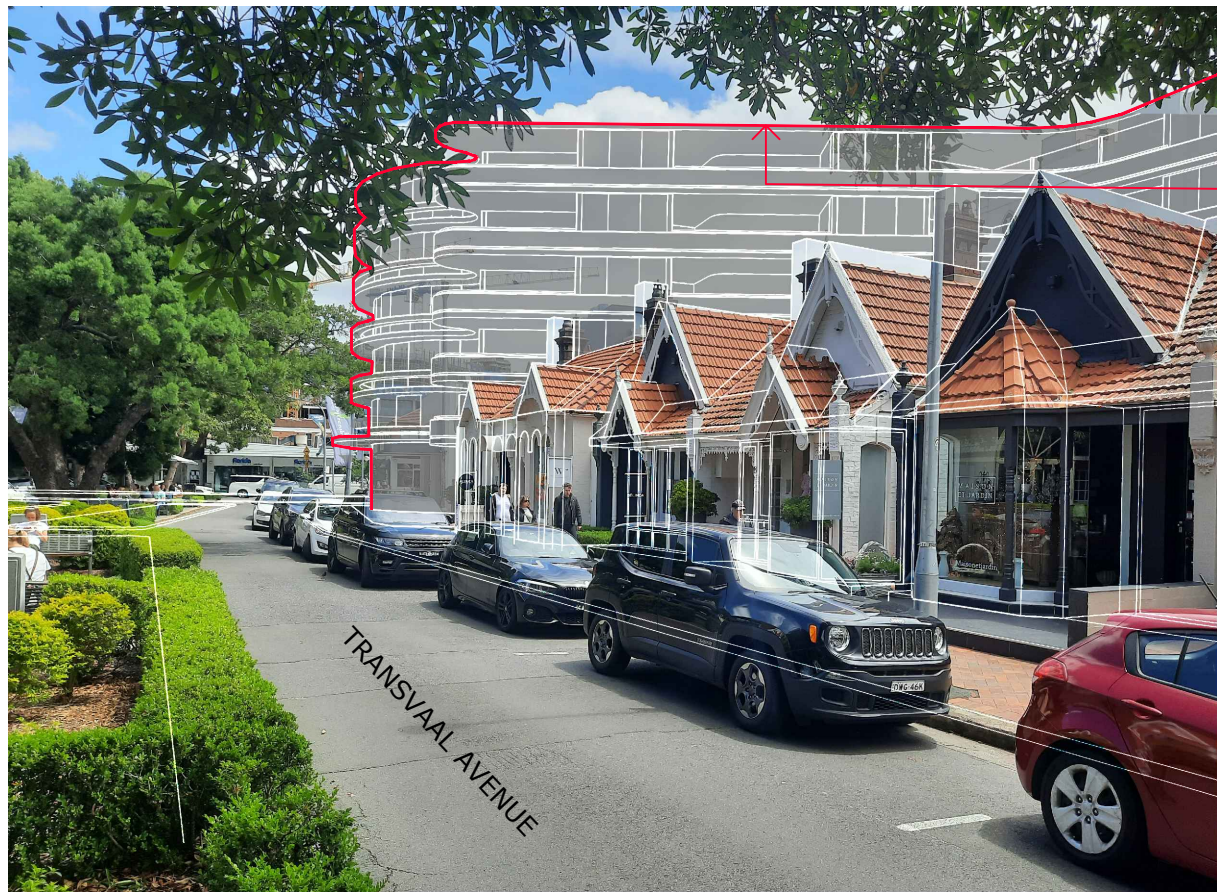
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A KEY PLAN

LEGEND:

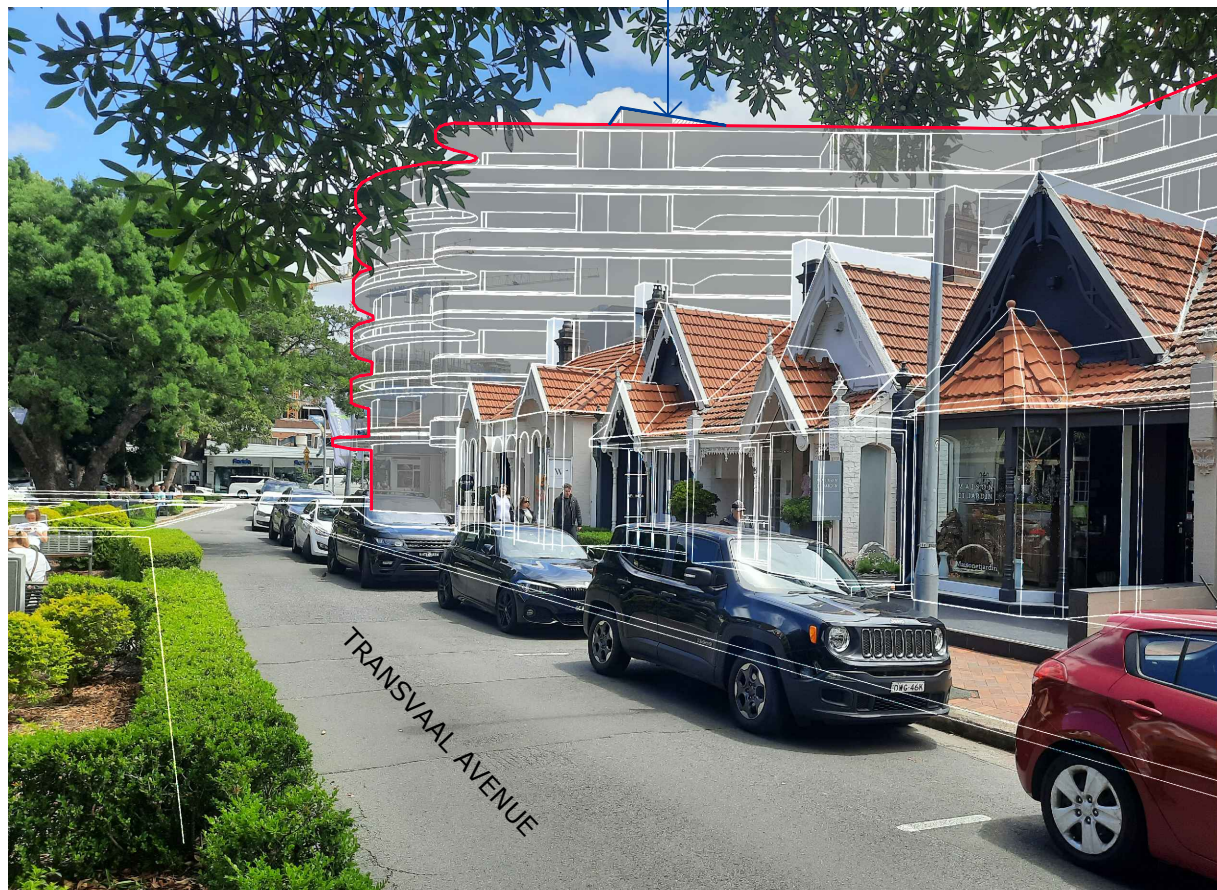
- ROOF NOT VISIBLE FROM PUBLIC DOMAIN
- ROOF VISIBLE FROM PUBLIC DOMAIN



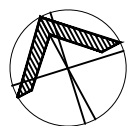
1 TRANSVAAL AVENUE VIEW - APPROVED DA

APPROVED DA OUTLINE

PROPOSED S4.55



2 TRANSVAAL AVENUE VIEW - PROPOSED S4.55



issue	date	description
1	02.12.21	preliminary for client review
2	22.12.21	final issue to consultants
A	31.01.22	S4.55 APPLICATION

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view analysis
mixed use development
19-27 cross street, double bay

S4.55_36 issue A
scale varies
plotdate
cadfile s4.55_36 view analysis.dwg
1725



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